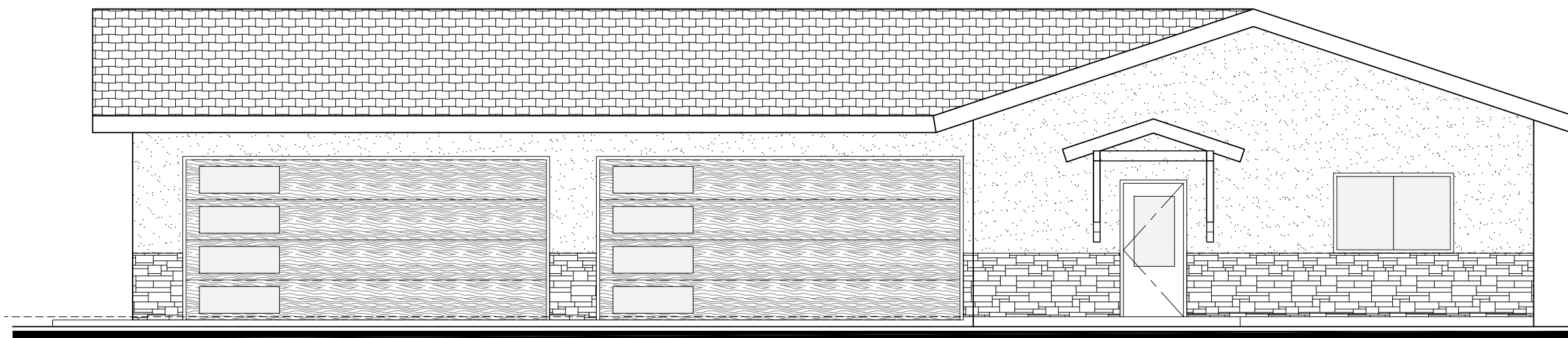


Kenson Garage / Living Quarters on Norris Road

Prescott, AZ

Front Elevation



Project Information

CLIENT:	Alan Kenson P.O. Box 246 Skull Valley, AZ 86338	Contact: Alan Kenson PH: 928-443-5812 wakaarchitect@gmail.com
PREPARED BY:	W. Alan Kenson & Assoc., P.C. P.O. Box 11593 Prescott, AZ 86304	Contact: Alan Kenson PH: 928-443-5812 wakaarchitect@gmail.com
CONTRACTOR:	Kenson Construction 6135 Corsair Ave. Prescott, AZ 86301	Contact: Alan Kenson PH: 928-445-5192 wakaarchitect@gmail.com
JOBSITE ADDRESS:	901 Norris Rd. Prescott, AZ 86305	
PARCEL NUMBER:	111-12-127C	
ZONING:	SF-35	
SITE USE:	Residential	
CONST. TYPE:	VB	
CURRENT CODE:	2018 International Residential Code 2018 International Fire Code 2018 International Plumbing Code 2018 International Mechanical Code 2018 International Fuel Gas Code 2018 International Electrical Code 2017 National Electrical Code 2012 International Energy Conservation Code	
AREA SUMMARY:	Livable: 725 S.F. Garage: 1,403 S.F. Total under roof: 2,128 S.F.	

CITY OF PRESCOTT INCORPORATED DESIGN CRITERIA:

- GROUND SNOW LOAD = 30#
- WIND DESIGN = SPEED 115MPH EXPOSURE C
- NO TOPO EFFECT
- SEISMIC DESIGN = C
- WEATHERING = NEGLIGIBLE
- FROST DEPTH = 18"
- TERMITE = MODERATE
- WINTER DESIGN TEMP = 20 DEGREE F
- ICE BARRIER = NO
- FLOOD = COP TITLE XIII
- AIR FREEZING INDEX = 194
- MEAN ANNUAL TEMP = 53
- MANUAL J TABLE 1 OR 2 OR ASHREA DESIGN

Sheet Index

ARCHITECTURAL

- CS Cover Sheet / Project Information
- CS2 General Notes
- A1.0 Architectural Utilities / Grading / Site Plan
- A2.0 Foundation Plan
- A3.0 Reference / Dimension / Wall Types Floor Plan
- A4.0 Roof Plan
- A5.0 Building Sections
- A6.0 Exterior Elevations
- A7.0 Braced Wall Plan
- A8.0 Interior Elevations
- A9.0 Door Schedule and Window Types

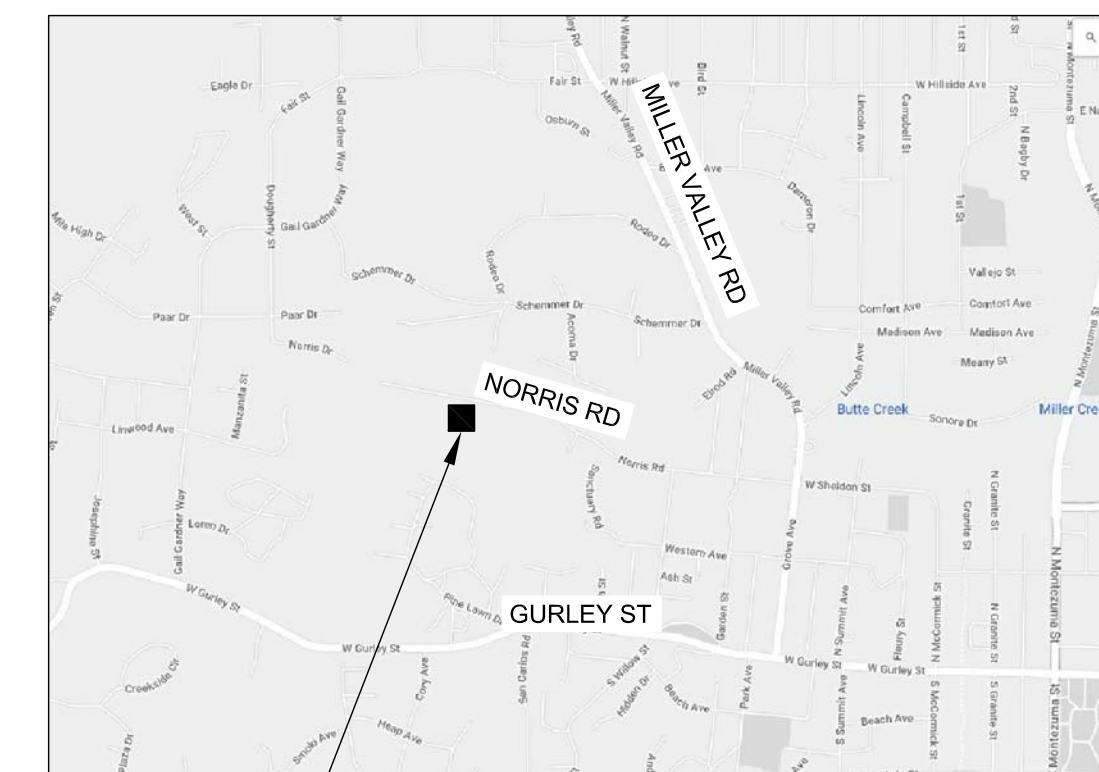
MECHANICAL / ELECTRICAL

- ME1 Mechanical / Electrical / Reflected Ceiling Plan
- E1.1 Electrical One Line Diagram, Panel Schedules and Calc's

NOTE:

- AUTOMATIC FIRE SPRINKLER DRAWING TO BE SUBMITTED UNDER SEPARATE COVER

Vicinity Map



PROJECT SITE



Architect:

W. Alan Kenson & Associates, P.C.

P 928-443-5812

P.O. Box 11593
Prescott, AZ 86304

email: waka@cableone.net
www.kenson-associates.com

ARCHITECTURE & PLANNING



REVISIONS	BY
1	LO

These drawings are the property of W. Alan Kenson & Associates P.C., and may not be reproduced in any way without the written consent of W. Alan Kenson & Associates, P.C.



W. Alan Kenson & Associates, P.C.
P 928-443-5812 P.O. Box 11593
F 928-443-5815 Prescott, AZ 86304
email: wakaarchitect@gmail.com
www.kenson-associates.com
ARCHITECTURE & PLANNING

DRAWING: Cover Sheet
PROJECT: Kenson Garage on Norris
901 Norris Rd.
Prescott, AZ 86305
APN: 111-12-127C

DRAWN BY
L.O.
CHECKED BY
W.A.K.
DATE
July 7th, 2022
JOB NO.
784
SHEET

CS1

Kenson Garage / Living Quarters on Norris Road

General Notes

1.

A COPY OF THE CITY OF PRESCOTT APPROVED CONSTRUCTION DRAWINGS SHALL BE KEPT AT THE JOB SITE.
2.

EXTERIOR WALLS: CONSTRUCTION, PROJECTIONS, OPENINGS AND PENETRATIONS OF EXTERIOR WALLS OF DWELLINGS AND ACCESSORY BUILDINGS SHALL COMPLY WITH IRC 2018TABLE 302.1.
3.

CEMENT, FIBER-CEMENT AND GLASS MAT GYPSUM BACKERS SHALL BE USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
4.

EVERY SLEEPING ROOM AND BASEMENT WITH HABITABLE SPACE SHALL HAVE AT LEAST ONE WINDOW WITH A NET CLEAR OPENING OF 5.7 SQUARE FEET (MIN. 5 SQUARE FEET NET CLEAR OPENING AT GRADE FLOOR), MINIMUM OPENING WIDTH OF 20" MINIMUM OPENING HEIGHT OF 24" AND THE FINISHED SILL HEIGHT SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR, OR PROVIDE EXTERIOR DOOR FOR EMERGENCY EGRESS.
5.

WINDOWS SHALL BE FLASHED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
6.

GLAZING IN HAZARDOUS LOCATIONS SHALL COMPLY WITH IRC 308.
7.

ALL INTERIOR AND EXTERIOR GLAZING IN BATHROOMS MUST BE SAFETY GLAZING WHEN THE BOTTOM EDGE IS LESS THAN FIFTY-SIX INCHES ABOVE THE FLOOR LEVEL. (BATHROOM SHALL BE DEFINED AS A ROOM PROVIDED WITH A TUB OR SHOWER.)
8.

CEILING INSULATION: R-38 CLOSED CELL SPRAY FOAM INSULATION AT TOP CHORD OF TRUSSES. MARKERS SHALL BE AFFIXED TO THE TRUSSES OR JOISTS AND MARKED WITH THE MINIMUM INSTALLED THICKNESS BY ONE (1) INCH HIGH NUMBERS. A MINIMUM OF ONE (1) MARKER SHALL BE INSTALLED FOR EVERY 300 SQUARE FEET OF AREA WITH NUMBERS TO FACE THE ATTIC ACCESS OPENING.
9.

WOOD FRAMED WALLS: MINIMUM R-19 UNFACED BATT INSULATION.
10.

AIR LEAKAGE - THE CODE ALLOWS THE USE OF AIRFLOW RETARDERS (HOUSE WRAPS) OR OTHER SOLID MATERIALS AS ACCEPTABLE METHODS TO MEET THIS REQUIREMENT. TO BE EFFECTIVE, THE BUILDING THERMAL SEAL MUST BE:
 - IMPERMEABLE TO AIR FLOW.
 - CONTINUOUS OVER THE ENTIRE BUILDING ENVELOPE.
 - ABLE TO WITHSTAND THE FORCES THAT MAY ACT ON IT DURING AND AFTER CONSTRUCTION.
 - DURABLE OVER THE EXPECTED LIFETIME OF THE BUILDING.
 - ALL SEAMS AND EDGES MUST BE SEALED/TAPED PER MANUFACTURER'S SPECIFICATIONS.
11.

BUILDING THERMAL ENVELOPE - THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION. THE FOLLOWING SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL, SUITABLE FILM OR SOLID MATERIAL:
 - ALL JOINTS, SEAMS AND PENETRATIONS.
 - SITE BUILT WINDOWS, DOORS AND SKYLIGHTS.
 - OPENINGS BETWEEN WINDOW AND DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS AND FRAMING.
 - UTILITY PENETRATIONS.
 - DROPPED CEILINGS OR CHASES ADJACENT TO THE THERMAL ENVELOPE.
 - KNEE WALLS.
 - WALLS AND CEILINGS SEPARATING A GARAGE FROM CONDITIONED SPACES.
 - BEHIND TUBS AND SHOWERS ON EXTERIOR WALLS.
 - COMMON WALLS BETWEEN DWELLING UNITS.
 - OTHER SOURCES OF INFILTRATION.
12.

FENESTRATION AIR LEAKAGE - WINDOW, SKYLIGHT AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN 0.3 CFM PER SQUARE FOOT, AND SWINGING DOORS NO MORE THAN 0.5 CFM. SPECIFICATION SHALL BE LISTED ON THE MANUFACTURER LABEL. ALL WINDOWS AND EXTERIOR DOORS COMPRISING THE BUILDINGS THERMAL ENVELOPE, SHALL HAVE A FENESTRATION U-FACTOR OF NOT MORE THAN .40.
13.

RECESSED LIGHTING - RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES BY BEING:
 - IC-RATED AND LABELED WITH ENCLOSURES THAT ARE SEALED OR GASKETED TO PREVENT AIR LEAKAGE TO THE CEILING CAVITY OR UNCONDITIONED SPACE
 - OR:
 - IC-RATED AND LABELED AS MEETING ASTM E283
 - OR:
 - LOCATED INSIDE AIRTIGHT SEALED BOX WITH CLEARANCES OF AT LEAST 0.5 INCH FROM COMBUSTIBLE MATERIAL AND 3 INCHES FROM INSULATION.
14.

ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-3. CIRCULATING HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. THERMAL SIPHONING SYSTEMS SHALL HAVE A VALVE TO REDUCE FLOW.
15.

A MINIMUM 0.019 INCH, CORROSION RESISTANT WEEP SCREED, WITH MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON THE EXTERIOR STUD WALL IN ACCORDANCE WITH ASTM C 926. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE THE EARTH OR 2 INCHES ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED.
16.

THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAT 1/2" GPDW APPLIED TO THE GARAGE SIDE.
17.

THE WATER HEATER RELIEF VALVE SHALL EXTEND OUTSIDE OF THE BUILDING, OR TO THE FLOOR OF THE GARAGE, WITH THE END OF PIPE NOT MORE THAN SIX (6) INCHES, OR LESS THAN TWICE THE DIAMETER OF THE DISCHARGE PIPING SIZE (1.5"), ABOVE THE GROUND AND POINTING DOWNWARD.
18.

MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 F OR BELOW 55 F SHALL BE INSULATED TO A MINIMUM OF R-3.
19.

INTERIOR WALLS TO BE 2x4 HEM-FIR WOOD STUD @ 1'-4" O.C.
20.

EXTERIOR WALLS TO BE 2x4 OR 2x6 HEM-FIR NO. 2 WOOD STUD @ 1'-4" O.C.
21.

HEADERS IN WALLS TO BE DOUGLAS FIR NO. 2 OR BETTER AND ARE INDICATED ON ROOF FRAMING PLAN.
22.

POSTS AND BEAMS TO BE DOUGLAS FIR NO. 2 OR BETTER.
23.

JOISTS, TOP PLATES AND ALL OTHER SAWN LUMBER TO BE DOUGLAS FIR NO. 2 OR BETTER.

REVISIONS		BY
1	8-15-2022	LO

These drawings are the property of W. Alan Kenson & Associates P.C., and may not be reproduced in any way without the written consent of W. Alan Kenson & Associates, P.C.



W. Alan Kenson & Associates, P.C.

P 928-443-5812

F 928-443-5815

email: wakaarchitect@gmail.com

www.kenson-associates.com

P.O. Box 11593

Prescott, AZ 86304

ARCHITECTURE & PLANNING

DRAWING:

General Notes

PROJECT:

Kenson Garage on Norris
901 Norris Rd.
Prescott, AZ 86305

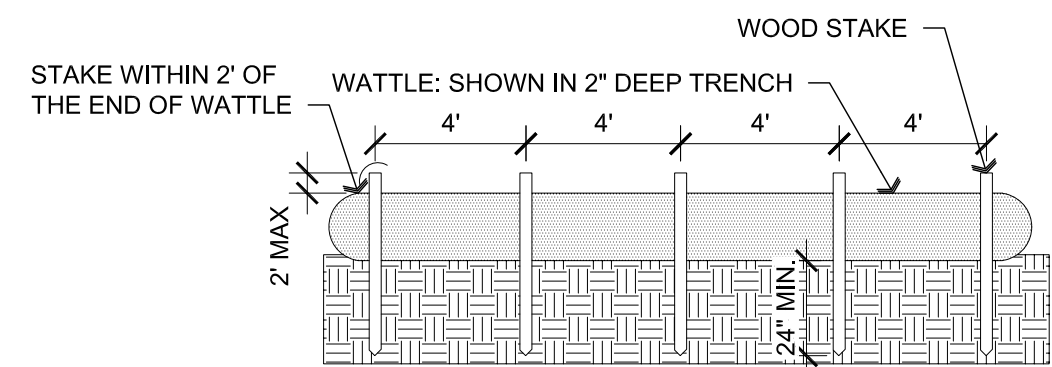
APN:

111-12-127C

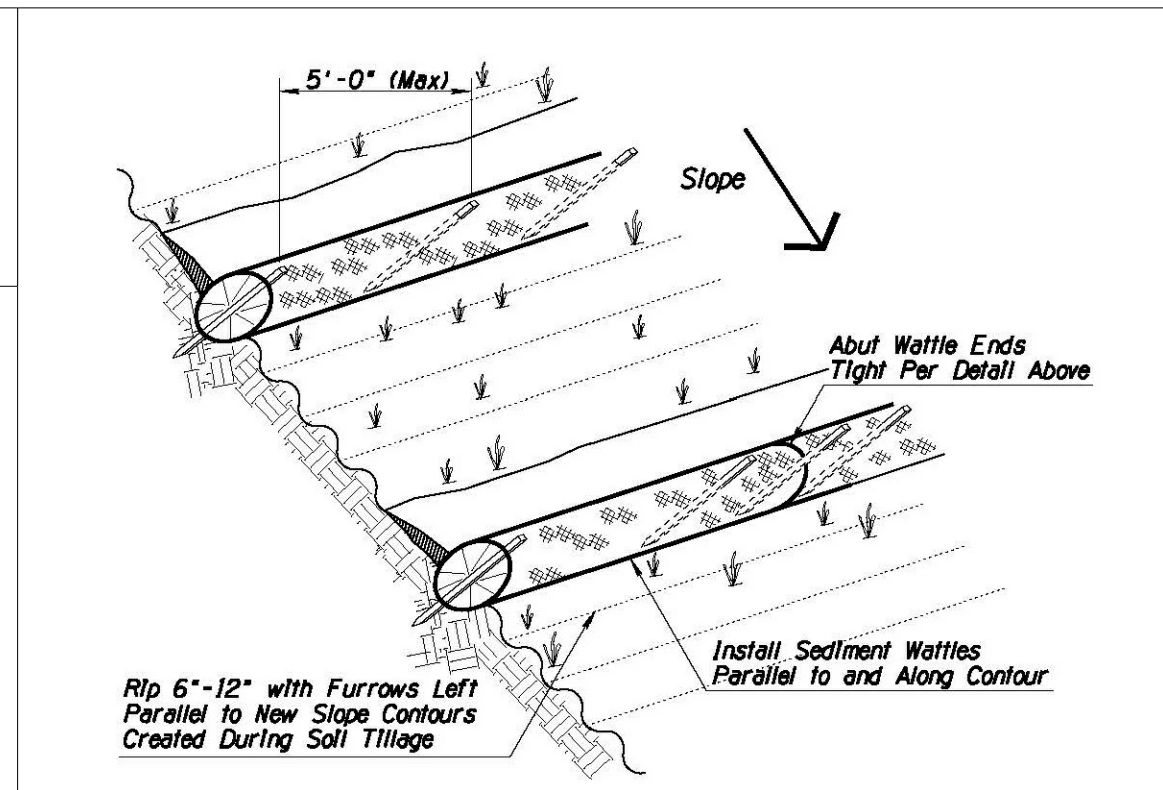
DRAWN BY	L.O.
CHECKED BY	W.A.K.
DATE	July 7th, 2022
JOB NO.	784
SHEET	

CS2

WATTLE SPACING INTERVALS	
Slope Ratio (H:V)	Maximum Spacing Interval
2:1	10'
3:1	20'
4:1	30'
5:1	40'
6:1	40'



Perimeter Protection



Slope Protection

AREA SUMMARY PROPOSED GARAGE/RESIDENCE	
LIVABLE:	725
GARAGE:	1,403
TOTAL UNDER ROOF:	
2,128 S.F.	
AREA SUMMARY EXISTING RESIDENCE	
LIVABLE:	1542
GARAGE:	374
TOTAL UNDER ROOF:	
1,916 S.F.	
TOTAL STRUCTURES:	
4,044 S.F.	
LOT SIZE 2.64 ACRES (114,998 S.F.)	
LOT COVERAGE: 3.5%	

NOTE: GUEST QUARTERS SHALL NOT BE RENTED OUT SEPARATELY AND WILL RECEIVE UTILITIES WITH THE MAIN HOUSE.

NOTE: REFER TO CITY OF PRESCOTT OR QUAD CITY GENERAL ENGINEERING STANDARD DETAILS.

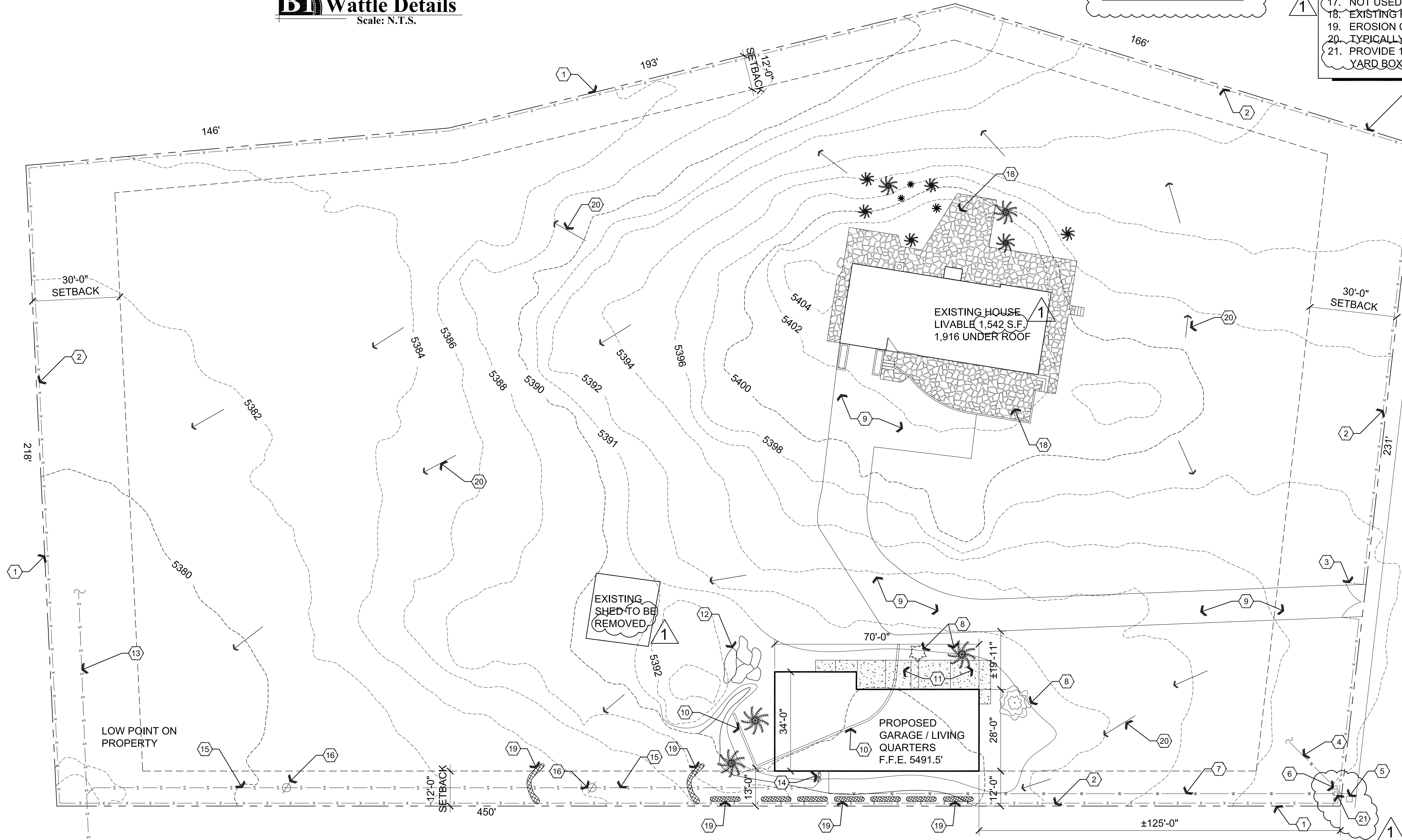
CUT AND FILL AMOUNTS:
CUT = 0 CUBIC YARDS
FILL = ±45 CUBIC YARDS

PLUMBING FIXTURE UNITS
EXISTING HOUSE: 20
PROPOSED GUEST QUARTERS: 18
TOTAL PLUMBING FIXTURE UNITS: 38

Descriptive Keynotes

- PROPERTY LINE.
- EXISTING FENCE.
- EXISTING ELECTRIC GATES.
- EXISTING 1" DOMESTIC WATER LINE.
- REPLACE EXISTING 3/4" WATER METER WITH 1" WATER METER FOR THE PURPOSES OF A FIRE SPRINKLER SYSTEM.
- PROVIDE 3/4" WATER SHUT OFF VALVE IN BELOW GRADE YARD BOX.
- PROVIDE 1-1/2" SCHEDULE 40 PVC OR PEX WATER LINE.
- REMOVE EXISTING TREE.
- EXISTING CONCRETE DRIVEWAY.
- EXISTING CMU WALL TO REMAIN / GET BUILT OVER.
- PROVIDE 4" CONCRETE SLAB W/ #3s @ 4'-0" O.C. EACH WAY OVER 4" COMPACTED ABC.
- EXISTING BOULDER CLUSTER.
- EXISTING 6" SEWER LINE AT ±4'-0" BELOW GRADE.
- PROVIDE 3" SCHEDULE 40 PVC TWO WAY CLEANOUT AND BACKWATER VALVE.
- PROVIDE 3" SDR 35 SEWER LINE.
- PROVIDE 3" ONE-WAY SEWER CLEANOUT.
- NOT USED.
- EXISTING FLAGSTONE PATIO.
- EROSION CONTROL WATTLE. REFER TO DETAIL B1/A1.0.
- TYPICALLY INDICATES SLOPE OF EXISTING GRADE.
- PROVIDE 1-1/2" WATER SHUT OFF VALVE IN BELOW GRADE YARD BOX.

CONTOUR LEGEND
--- INDICATES EXISTING CONTOUR
--- INDICATES PROPOSED CONTOUR

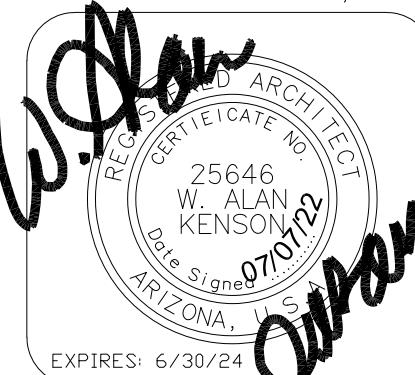


Scale: 1"=20'-0"



REVISIONS	BY
1	8-15-2022 LO

These drawings are the property of W. Alan Kenson & Associates P.C., and may not be reproduced in any way without the written consent of W. Alan Kenson & Associates, P.C.

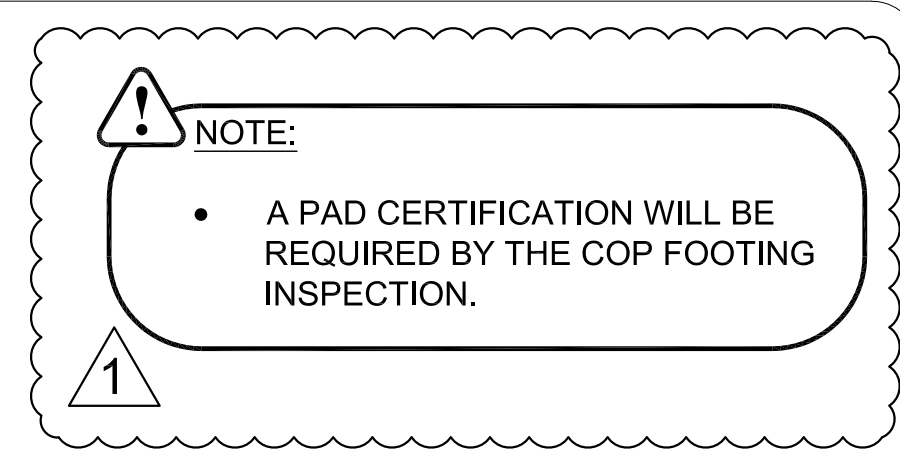
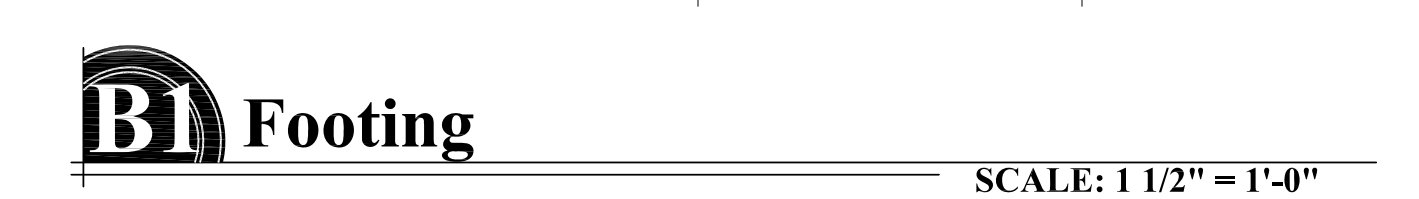
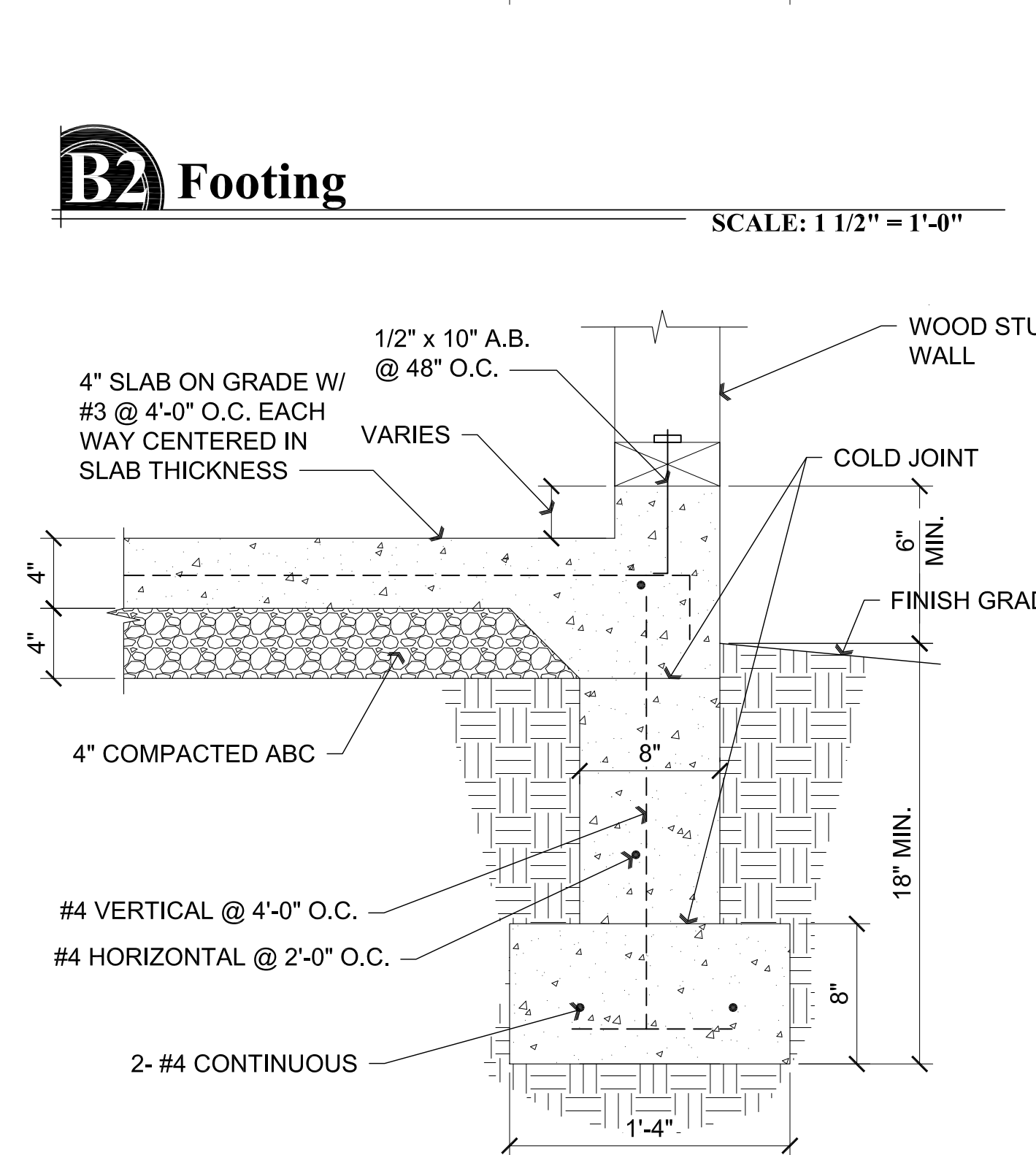
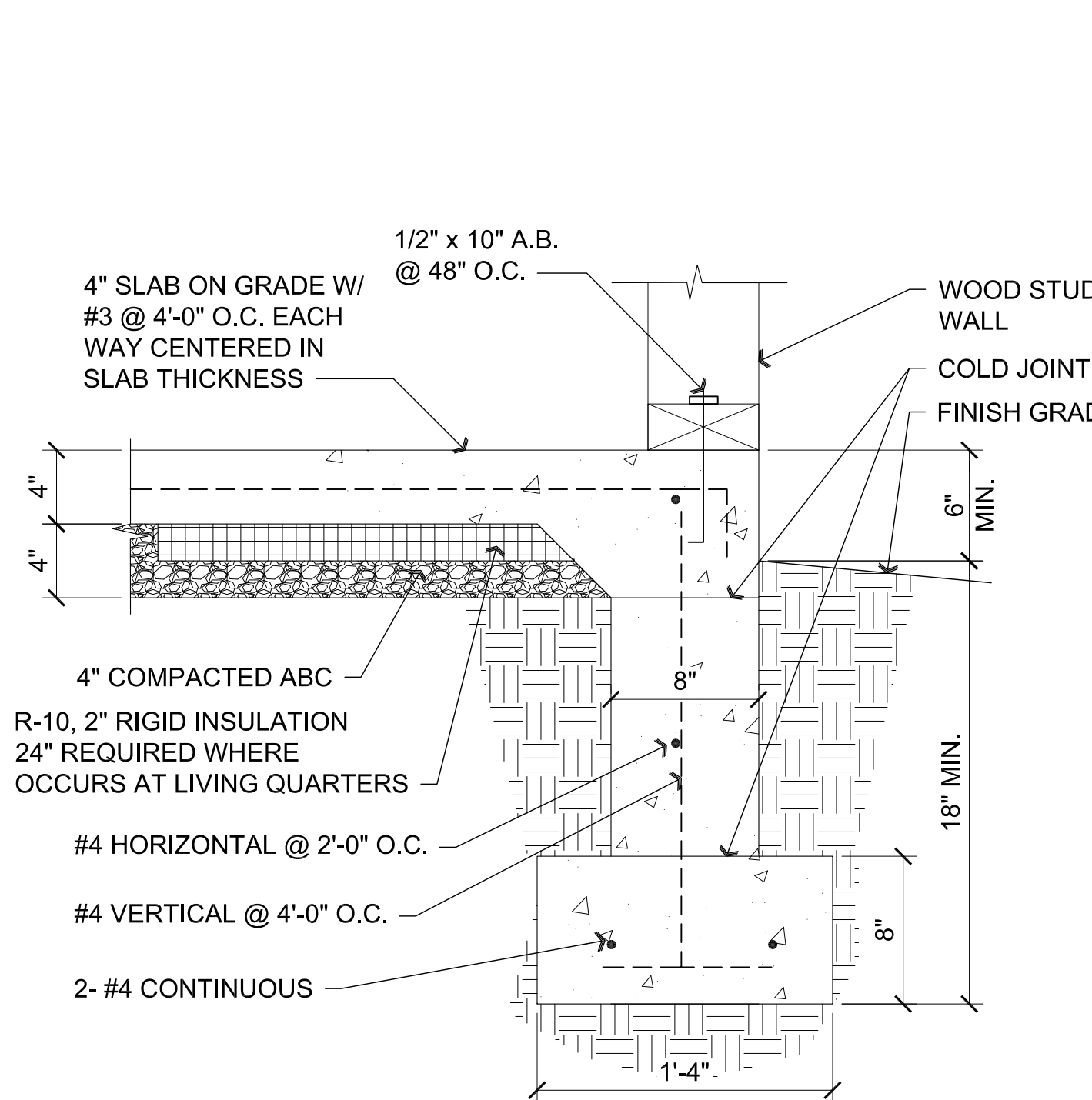
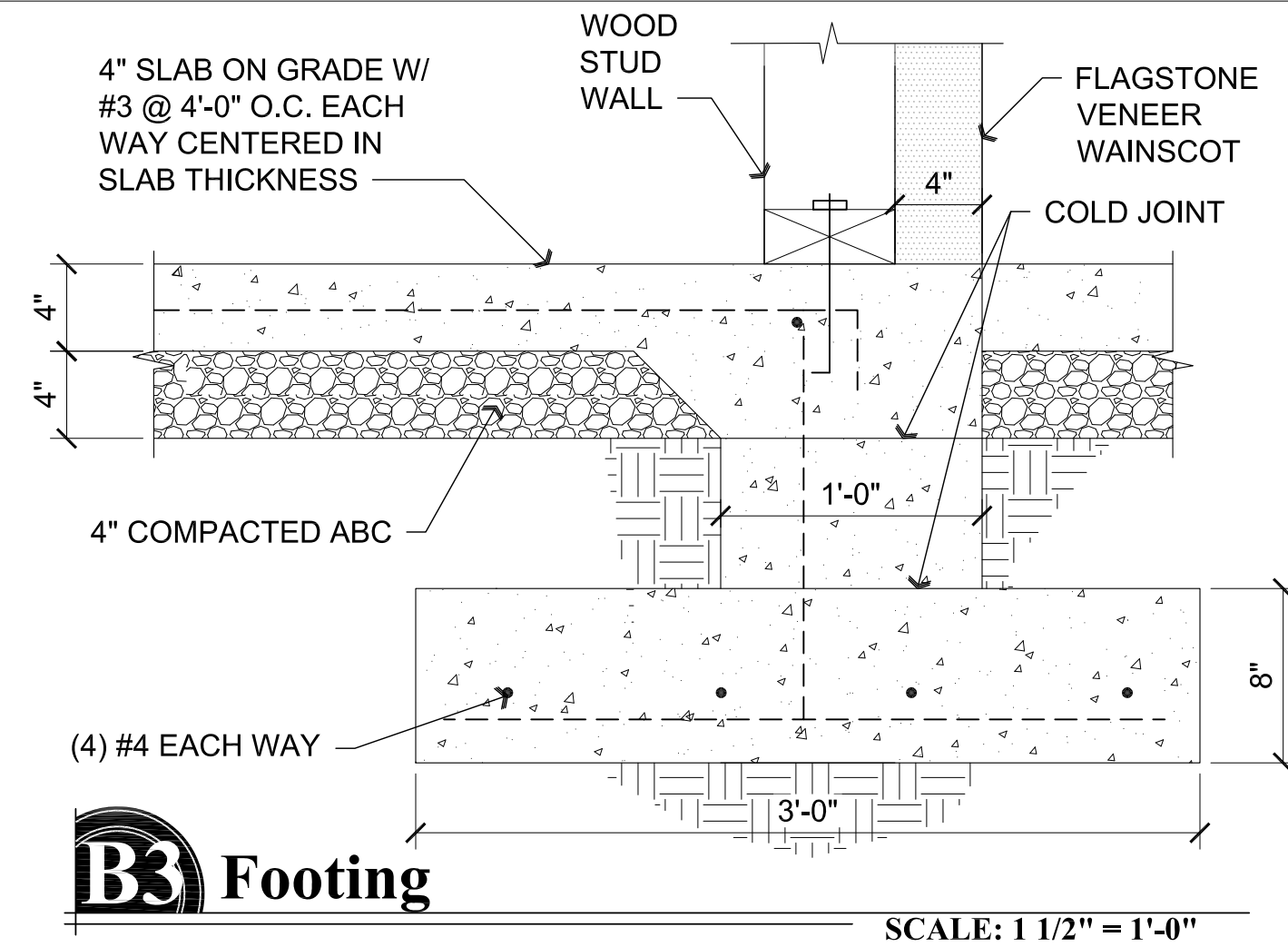


W. Alan Kenson & Associates, P.C.
P 928-443-5812 P.O. Box 11593
F 928-443-5815 Prescott, AZ 86304
email: wakaarchitect@gmail.com
www.kenson-associates.com
ARCHITECTURE & PLANNING

DRAWING: Architectural Site Plan
PROJECT: Kenson Garage on Norris
901 Norris Rd.
Prescott, AZ 86305
APN: 111-12-127C

DRAWN BY
L.O.
CHECKED BY
W.A.K.
DATE
July 7th, 2022
JOB NO.
784
SHEET

A1.0



REVISIONS	BY
1 8-15-2022	LO

These drawings are the property of W. Alan Kenson & Associates P.C., and may not be reproduced in any way without the written consent of W. Alan Kenson & Associates, P.C.


W. Alan Kenson & Associates, P.C.

P 928-443-5812
F 928-443-5815

P.O. Box 11593
Prescott, AZ 86304

email: wakaarchitect@gmail.com
www.kenson-associates.com

ARCHITECTURE & PLANNING



DRAWING: Foundation Plan

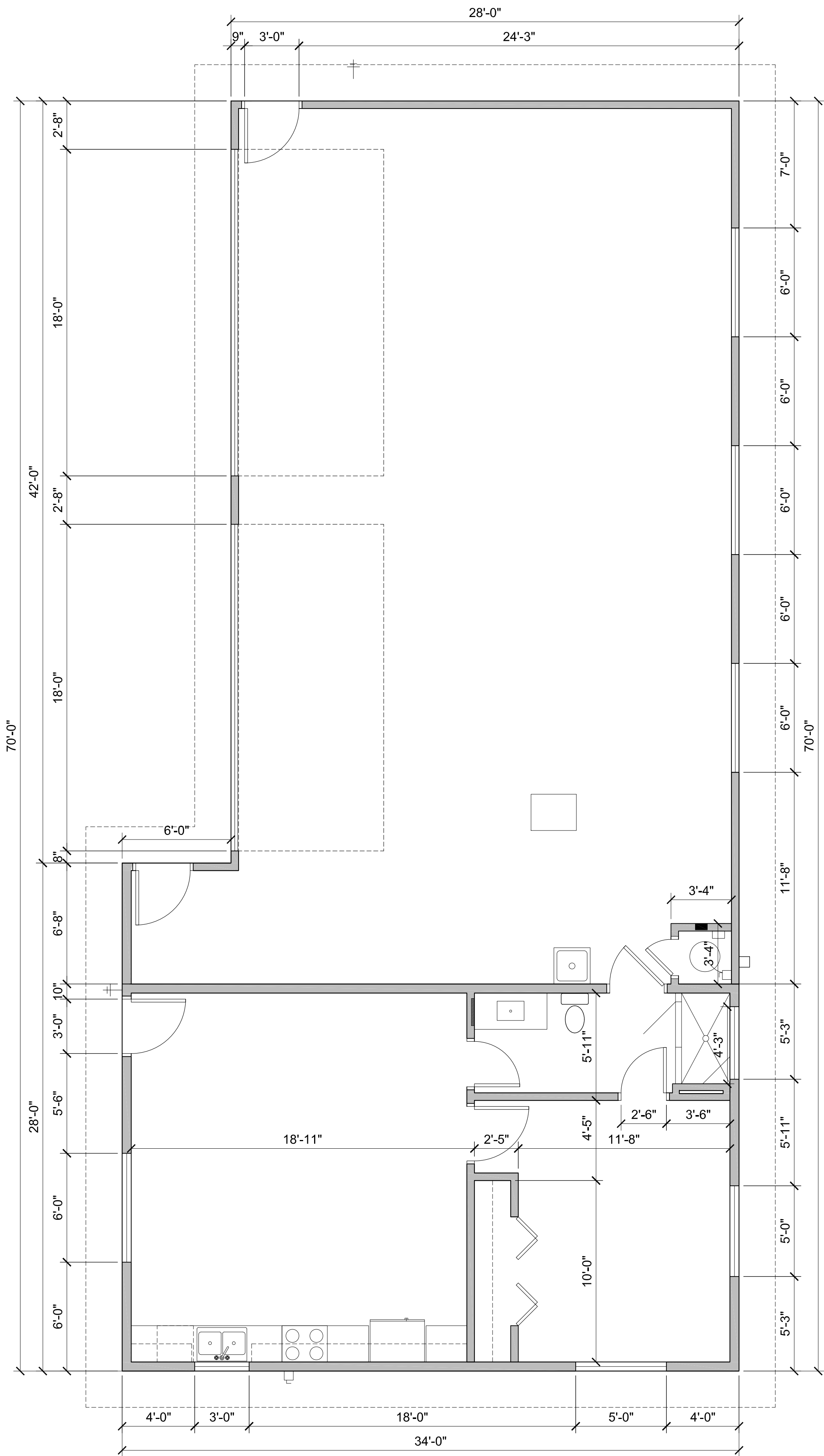
PROJECT: Kenson Garage on Norris
901 Norris Rd.
Prescott, AZ 86305

APN: 111-12-127C

DRAWN BY L.O.
CHECKED BY W.A.K.
DATE July 7th, 2022
JOB NO. 784
SHEET

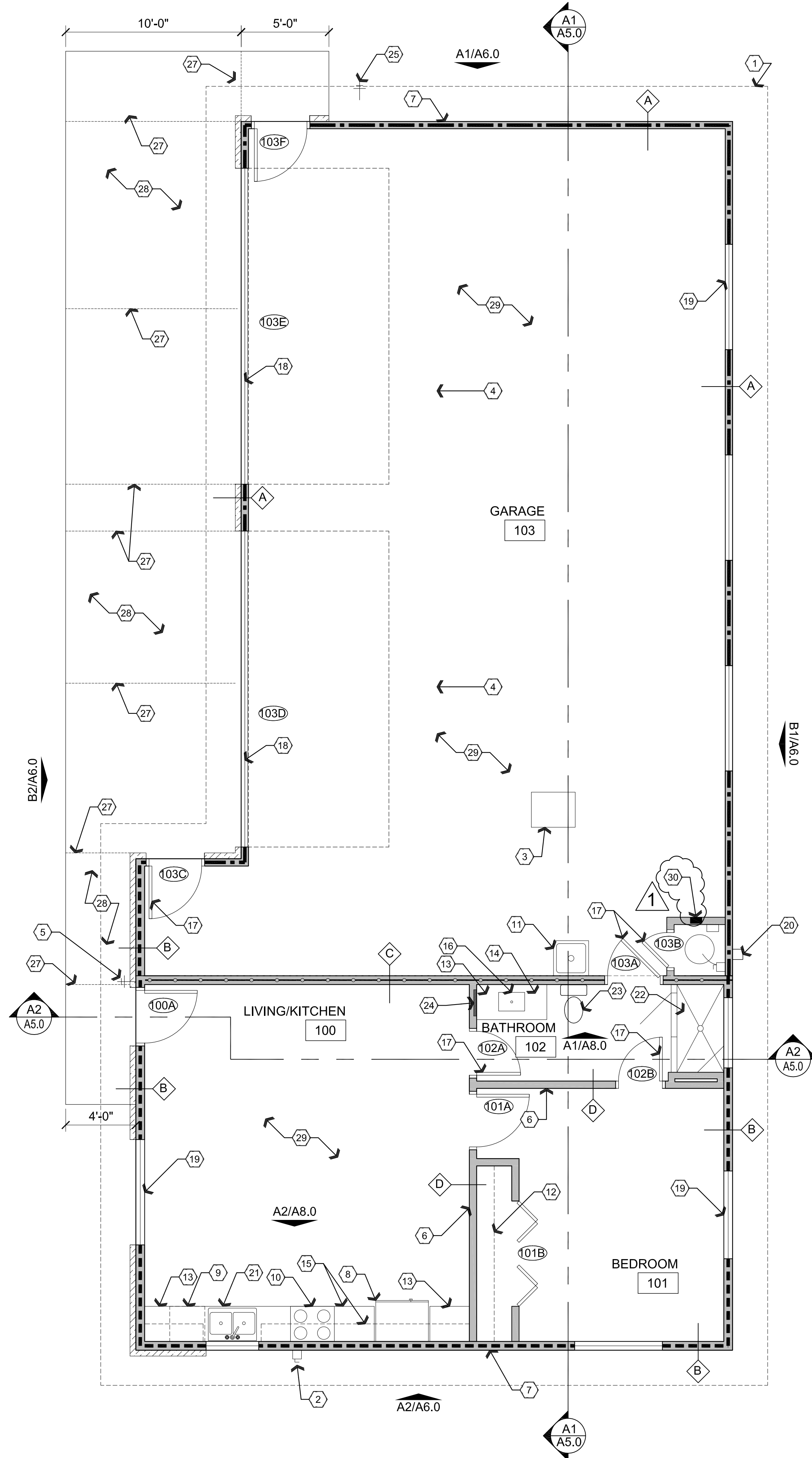
A2.0

Sep 12, 2022 - 2:21pm



Dimension Plan

Scale: 1/4"=1'-0"



Reference Floor / Wall Types Plan

Scale: 1/4"=1'-0"



Descriptive Keynotes

1. LINE OF ROOF OVERHANG ABOVE.
2. ELECTRICAL DISCONNECT FOR BUILDING. REFER TO ELECTRICAL PLAN.
3. PROVIDE ATTIC ACCESS PANEL. THE ROUGH FRAMED OPENING SHALL NOT BE LESS THAN 22"x30". A MINIMUM 30" UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE SHALL BE PROVIDED AT SOME POINT ABOVE THE ACCESS OPENING. PROVIDE WEATHER STRIPPING AT ACCESS OPENING.
4. GARAGE FLOOR SURFACE USED FOR PARKING OF AUTOMOBILE OR OTHER VEHICLES SHALL BE SLOPED TO FACILITATE THE MOVEMENT OF LIQUIDS TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY.
5. PROVIDE FROST PROOF HOSE BIBB.
6. INTERIOR WALL, REFER TO WALL TYPES LEGEND.
7. EXTERIOR WALL, REFER TO WALL TYPES LEGEND.
8. REFRIGERATOR / FREEZER.
9. DISHWASHER.
10. PROVIDE 36" RANGE / OVEN WITH MICRO EXHAUST HOOD.
11. UTILITY SINK.
12. PROVIDE CLOSET ROD / SHELVING.
13. PROVIDE SOLID SURFACE COUNTERTOP.
14. PROVIDE WOOD BASE CABINETRY.
15. PROVIDE WOOD BASE / UPPER CABINETRY. REFER TO INTERIOR ELEVATIONS.
16. PROVIDE INTEGRAL LAVATORY IN SOLID SURFACE COUNTERTOP.
17. PROVIDE DOOR, TYPICAL. REFER TO DOOR SCHEDULE.
18. PROVIDE GARAGE DOOR. REFER TO DOOR SCHEDULE.
19. WINDOW, TYPICAL, REFER TO WINDOW TYPES.
20. 3/4" WATER SHUT OFF VALVE IN YARD BOX, REFER TO SITE PLAN.
21. PROVIDE TWO COMPARTMENT STAINLESS STEEL SINK.
22. PROVIDE FIBERGLASS SHOWER ENCLOSURE WITH SEAT.
23. PROVIDE ADA TOILET.
24. PROVIDE RECESSED MEDICINE CABINET.
25. PROVIDE FROST FREE YARD HYDRANT.
26. PROVIDE 4" FLAGSTONE VENEER WAINSCOT.
27. TOOLED CONCRETE CONTROL JOINT.
28. PROVIDE 4" CONCRETE SLAB W/ #3s @ 4'-0" O.C. EACH WAY OVER 4" COMPACTED ABC.
29. CONCRETE SLAB. REFER TO FOUNDATION PLAN.
30. FIRE SPRINKLER RISER WITH SHUT OFF VALVE.

Wall Types Legend

- A** 4" STUD WALL: PROVIDE 2x4 WOOD STUDS AT 1'-4" ON CENTER WITH 1/2" GPDW ON INTERIOR SIDE AND 1/2" OSB TO MEET FIRE RATING OF 1 HOUR IN COMPLIANCE WITH THE URBAN WILDLAND INTERFACE AREAS PER ESR - 1365 ON EXTERIOR SIDE WITH WESTERN ONE COAT STUCCO SYSTEM W/ SYNTHETIC INTEGRAL COLOR SMOOTH FINISH OVER 1 1/2" POLYSTYRENE OVER WEATHER PROOF BARRIER OVER 1/2" OSB SHEATHING. PROVIDE R-13 UNFACED BATT INSULATION.
- B** 6" STUD WALL: PROVIDE 2x6 WOOD STUDS AT 1'-4" ON CENTER WITH 1/2" GPDW ON INTERIOR SIDE AND 1/2" OSB TO MEET FIRE RATING OF 1 HOUR IN COMPLIANCE WITH THE URBAN WILDLAND INTERFACE AREAS PER ESR - 1365 ON EXTERIOR SIDE WITH WESTERN ONE COAT STUCCO SYSTEM W/ SYNTHETIC INTEGRAL COLOR SMOOTH FINISH OVER 1 1/2" POLYSTYRENE OVER WEATHER PROOF BARRIER OVER 1/2" OSB SHEATHING. PROVIDE R-20 UNFACED BATT INSULATION.
- C** INTERIOR 6" STUD WALL: PROVIDE 1-LAYER 1/2" GPDW ON INTERIOR SIDE OF 2x6 WOOD STUDS AT 1'-4" O.C. PROVIDE 1-LAYER 1/2" TYPE 'X' GPDW ON GARAGE SIDE. PROVIDE R-20 INSULATION. PROVIDE TYVEK OR EQUAL TO BE APPLIED TO THE GARAGE SIDE OF THE WALL SEPARATING THE GARAGE FROM THE LIVABLE SPACE.
- D** INTERIOR 2x4 STUD WALL, TYP. PROVIDE 1-LAYER 1/2" GPDW ON EACH SIDE OF 2x4 WOOD STUDS AT 1'-4" ON CENTER.
- 4" FLAGSTONE WAINSCOT VENEER REFER TO EXTERIOR ELEVATIONS.

REVISIONS		BY
1	8-15-2022	LO

These drawings are the property of W. Alan Kenson & Associates P.C., and may not be reproduced in any way without the written consent of W. Alan Kenson & Associates, P.C.



W. Alan Kenson & Associates, P.C.

P 928-443-5812 P.O. Box 11593
F 928-443-5815 Prescott, AZ 86304

email: wakaarchitect@gmail.com
www.kenson-associates.com

ARCHITECTURE & PLANNING

DRAWING: Reference Floor Plan / Wall Types and Dimension Plan

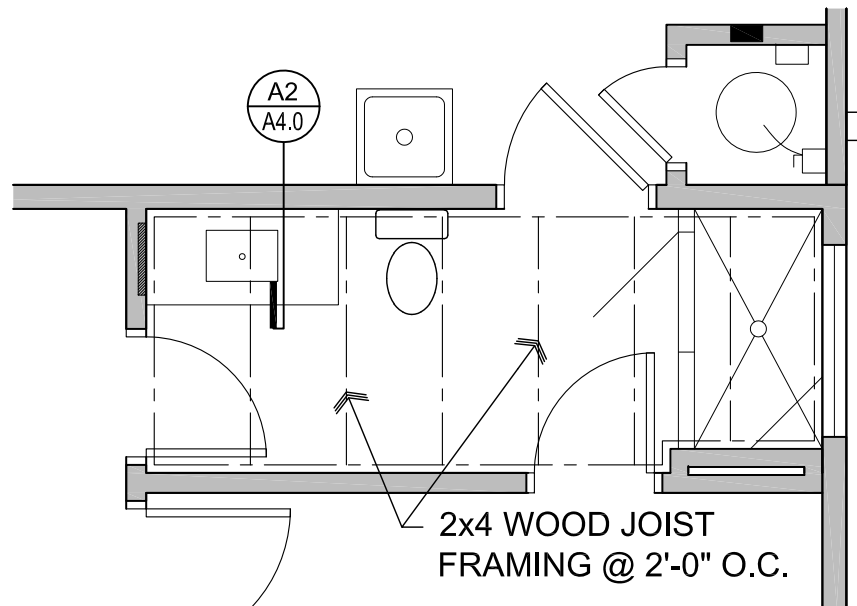
PROJECT: Kenson Garage on Norris
901 Norris Rd.
Prescott, AZ 86305

APN: 111-12-127C

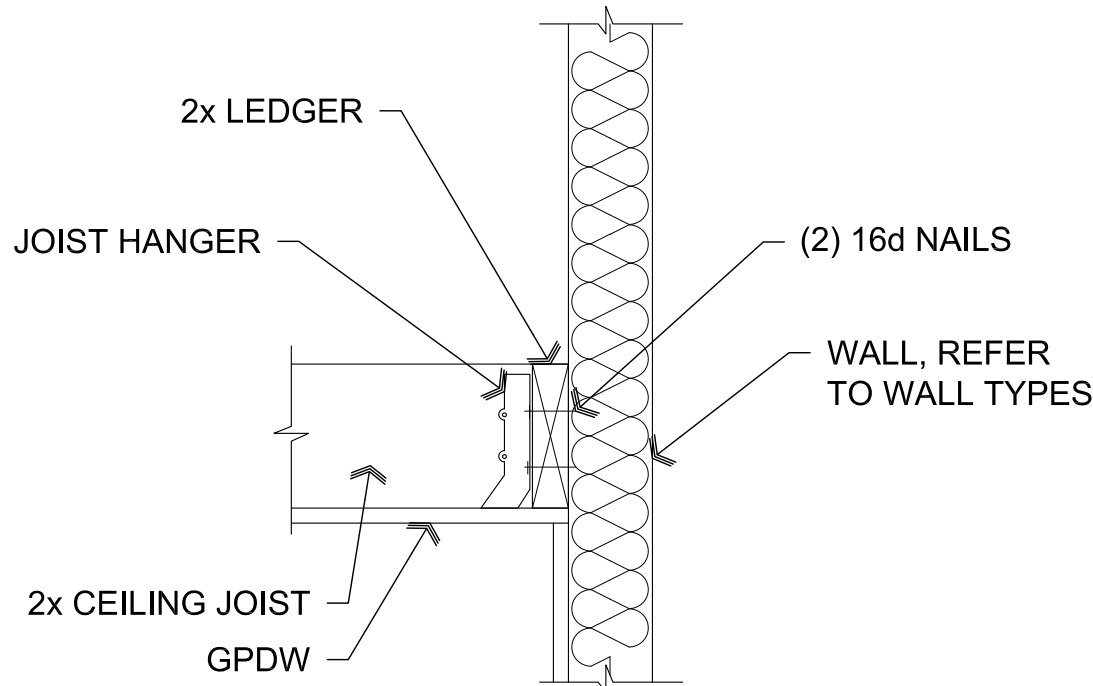
DRAWN BY L.O.
CHECKED BY W.A.K.
DATE July 7th, 2022
JOB NO. 784
SHEET

A3.0

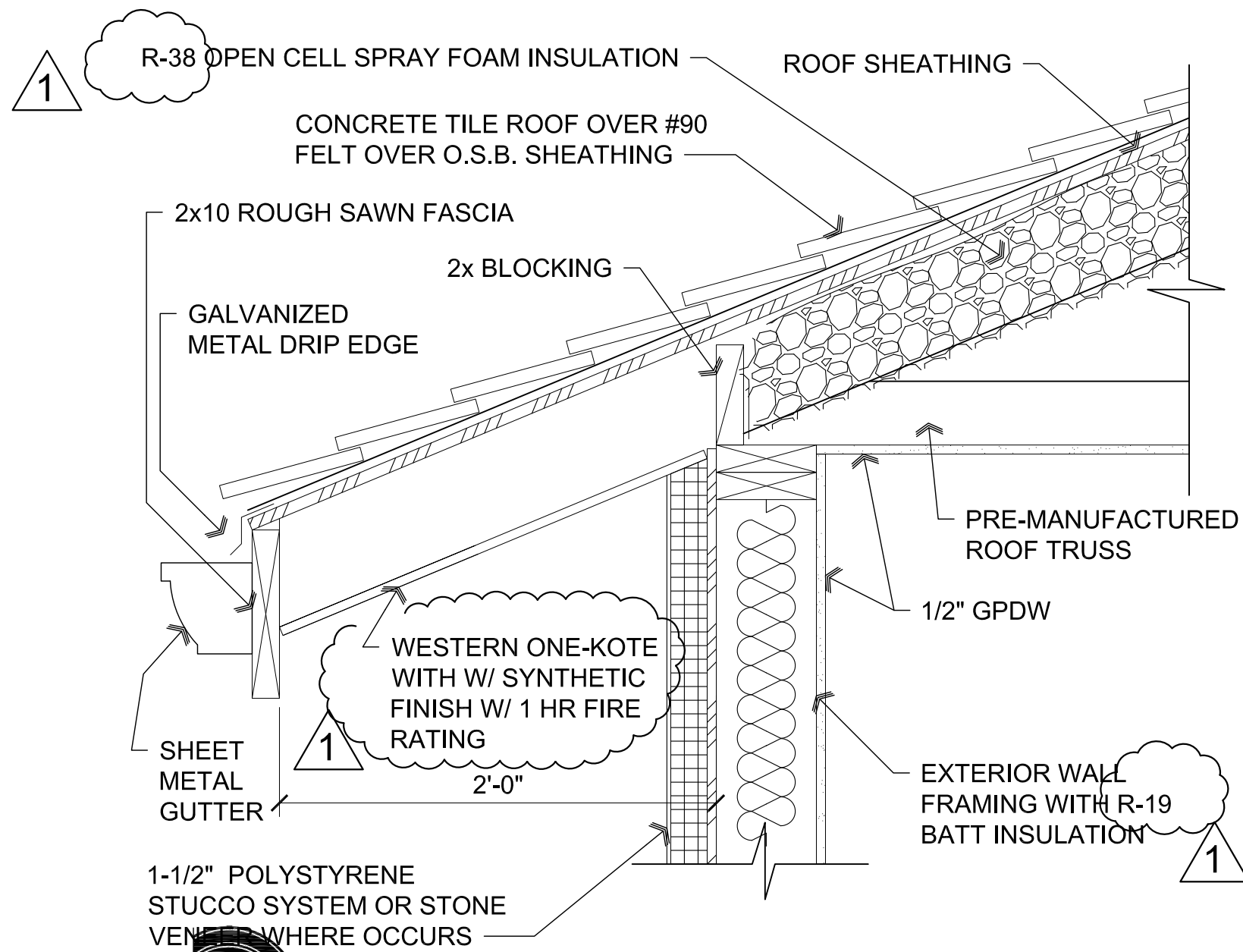
Sep 12, 2022 - 2:16pm



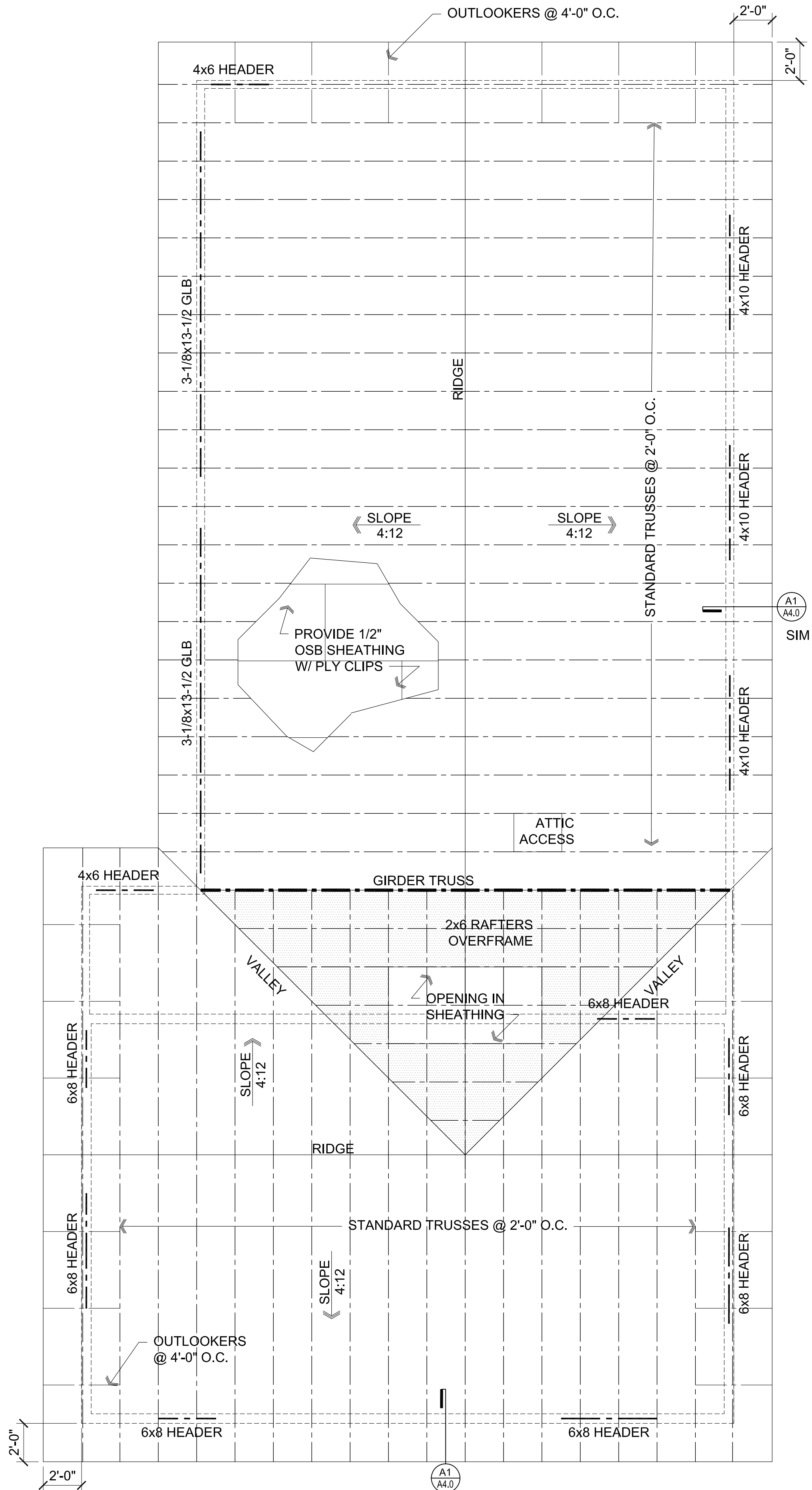
A3 Ceiling Framing Plan - Bathroom
Scale: 1/4"=1'-0"



A2 Ceiling Framing Detail
SCALE: 1 1/2" = 1'-0"



A1 Eave Detail
SCALE: 1 1/2" = 1'-0"



B1 Roof / Framing Plan

Scale: 1/4"=1'-0"



REVISIONS		BY
1	8-15-2022	LO

These drawings are the property of W. Alan Kenson & Associates P.C., and may not be reproduced in any way without the written consent of W. Alan Kenson & Associates, P.C.



W. Alan Kenson & Associates, P.C.

P 928-443-5812 P.O. Box 11593
F 928-443-5815 Prescott, AZ 86304
email: wakaarchitect@gmail.com
www.kenson-associates.com

ARCHITECTURE & PLANNING

DRAWING: Roof / Framing Plan

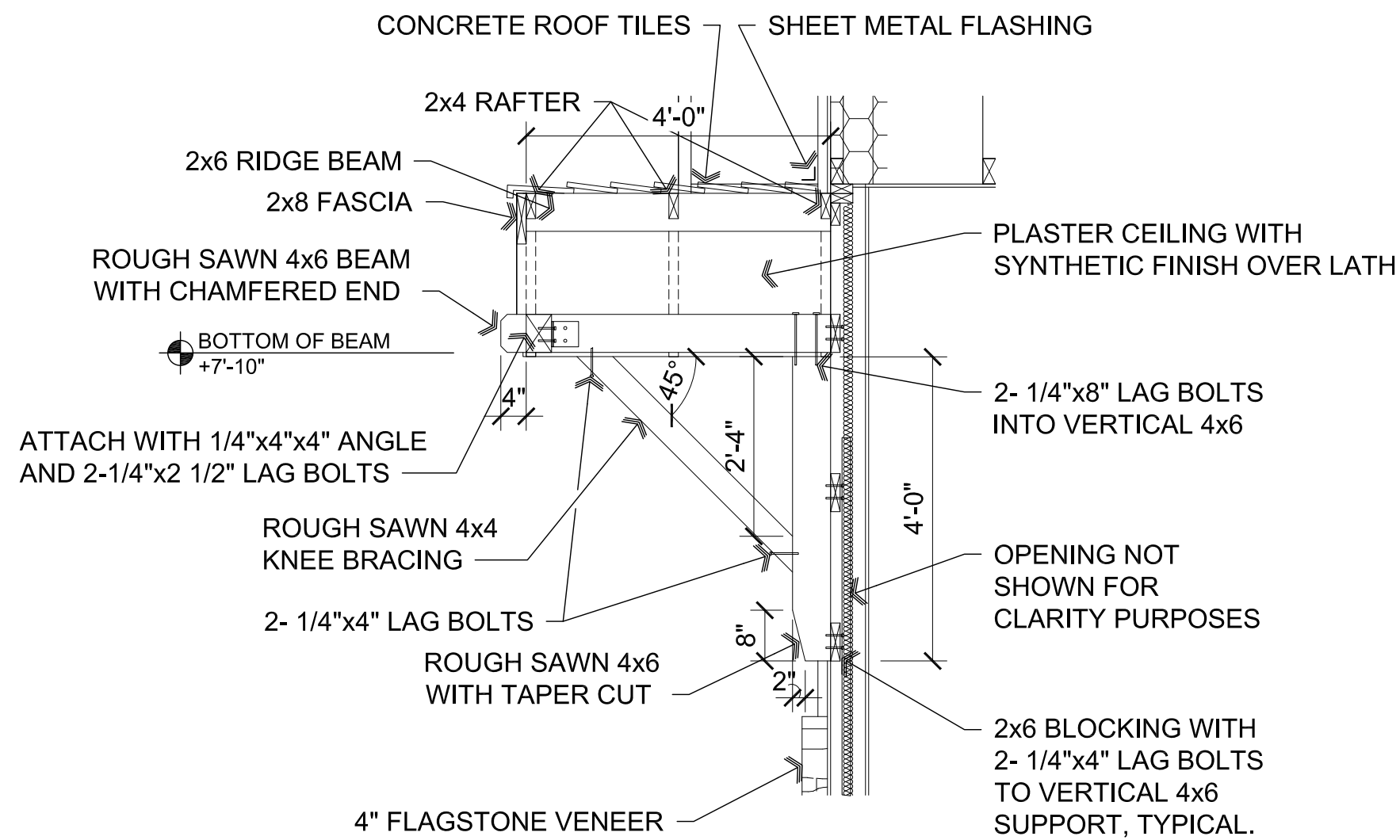
PROJECT: Kenson Garage on Norris
901 Norris Rd.
Prescott, AZ 86305

APN: 111-12-127C

DRAWN BY L.O.
CHECKED BY W.A.K.
DATE July 7th, 2022
JOB NO. 784
SHEET

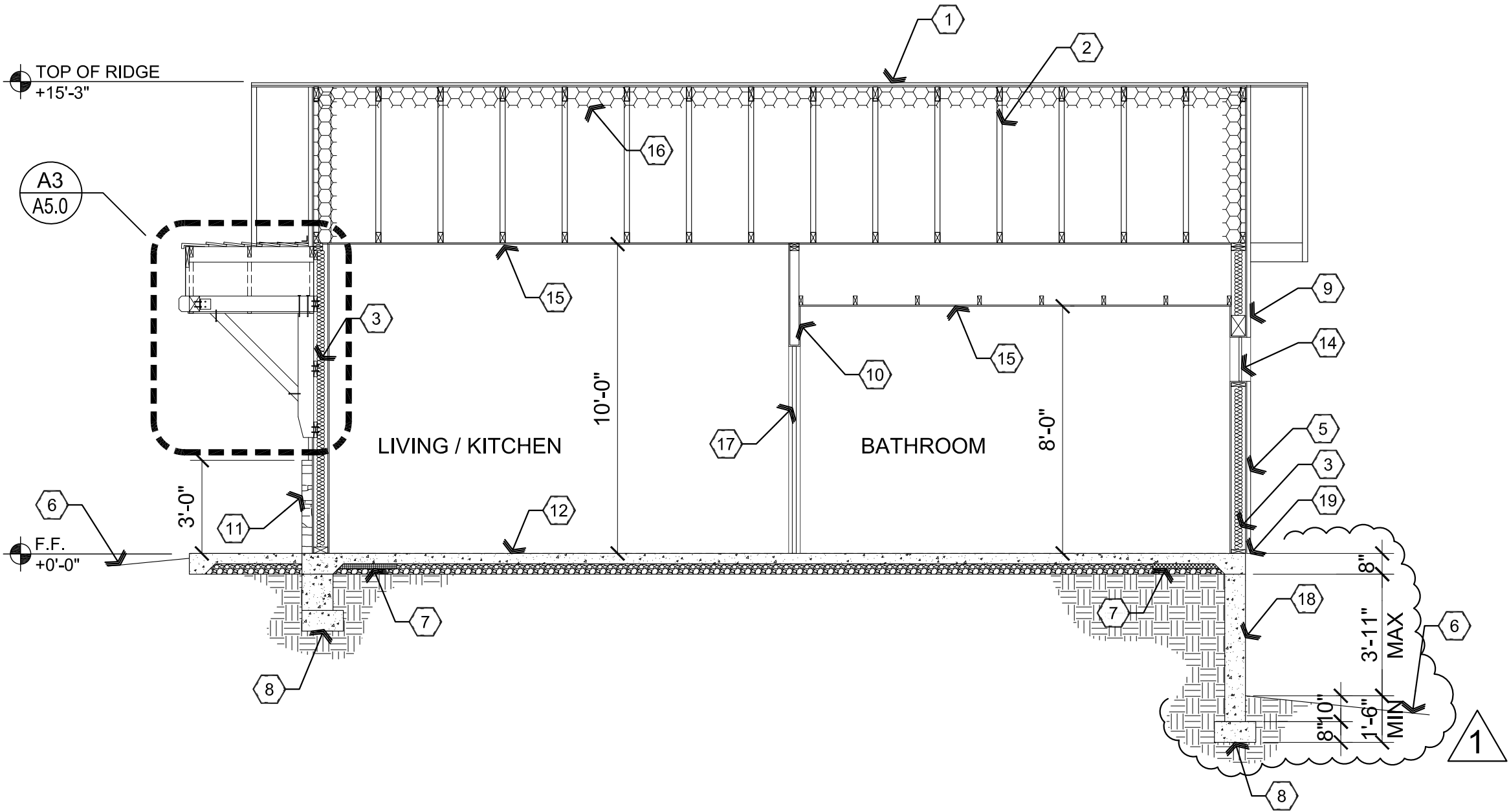
A4.0

Sep 12, 2022 - 2:17pm



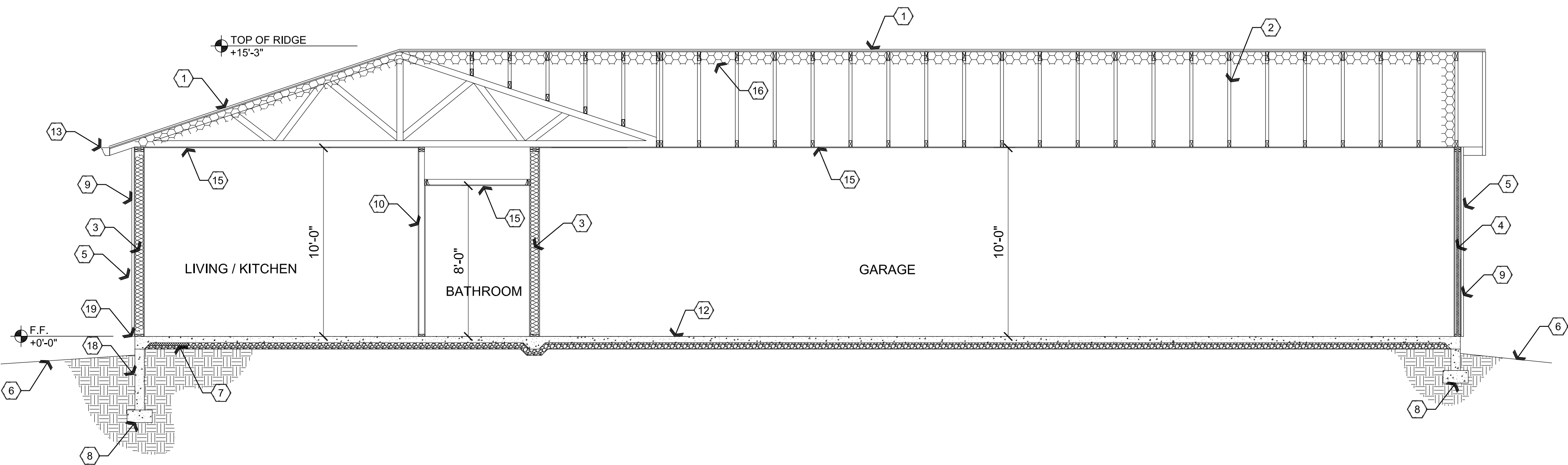
A3 Portico Detail

Scale: 1/2"=1'-0"



A2 Building Section

Scale: 1/4"=1'-0"



A1 Building Section

Scale: 1/4"=1'-0"

Descriptive Keynotes

1. PROVIDE CONCRETE TILE ROOF - UES# 1900, AS SELECTED BY OWNER, OVER 90 POUND ROLLED ROOFING OVER O.S.B. SHEATHING.
2. PROVIDE PRE-MANUFACTURED WOODEN ROOF TRUSS, REFER TO ROOF FRAMING PLAN.
3. PROVIDE R-19 UNFACED BATT INSULATION. 1
4. PROVIDE R-14 UNFACED BATT INSULATION.
5. PROVIDE WESTERN ONE COAT STUCCO SYSTEM - UES# 382, WITH SYNTHETIC INTEGRAL COLOR SMOOTH FINISH OVER 1-1/2" POLYSTYRENE BOARD OVER WEATHER PROOF BARRIER OVER 1/2" OSB SHEATHING.
6. APPROXIMATE FINISH GRADE.
7. PROVIDE 2'-0" HORIZONTAL R-10 RIGID INSULATION AT SLAB/FOUNDATION.
8. PROVIDE CONCRETE FOOTING, REFER TO FOUNDATION PLAN.
9. EXTERIOR WALL, REFER TO WALL TYPES PLAN FOR TYPE OF CONSTRUCTION.
10. INTERIOR WALL, REFER TO WALL TYPES PLAN.
11. PROVIDE 4" FLAGSTONE VENEER WAINSCOT.
12. CONCRETE SLAB OVER AGGREGATE BASE COURSE, REFER TO FOUNDATION PLAN.
13. PROVIDE SHEET METAL RAIN GUTTER.
14. EXTERIOR WINDOW, REFER TO REFERENCE FLOOR PLAN AND WINDOW TYPES.
15. 1/2" GPDW CEILING, CEILING RATED AND SAG RESISTANT. 1
16. PROVIDE R-38 OPEN CELL SPRAY FOAM INSULATION.
17. INTERIOR DOOR, REFER TO REFERENCE FLOOR PLAN AND DOOR TYPES.
18. PROVIDE WESTERN ONE COAT STUCCO SYSTEM OVER SYNTHETIC INTEGRAL COLOR SMOOTH FINISH OVER CONCRETE STEM WALL.
19. PROVIDE STUCCO WEEP SCREED.

NOTE:

- CONCRETE FOUNDATION WALL SHALL BE DESIGNED IN ACCORDANCE WITH R404.1.3.

REVISIONS	BY
1 8-15-2022	LO

These drawings are the property of W. Alan Kenson & Associates P.C., and may not be reproduced in any way without the written consent of W. Alan Kenson & Associates, P.C.



W. Alan Kenson & Associates, P.C.

P 928-443-5812
F 928-443-5815
P.O. Box 11593
Prescott, AZ 86304
email: wakaarchitect@gmail.com
www.kenson-associates.com

ARCHITECTURE & PLANNING

DRAWING: Sections

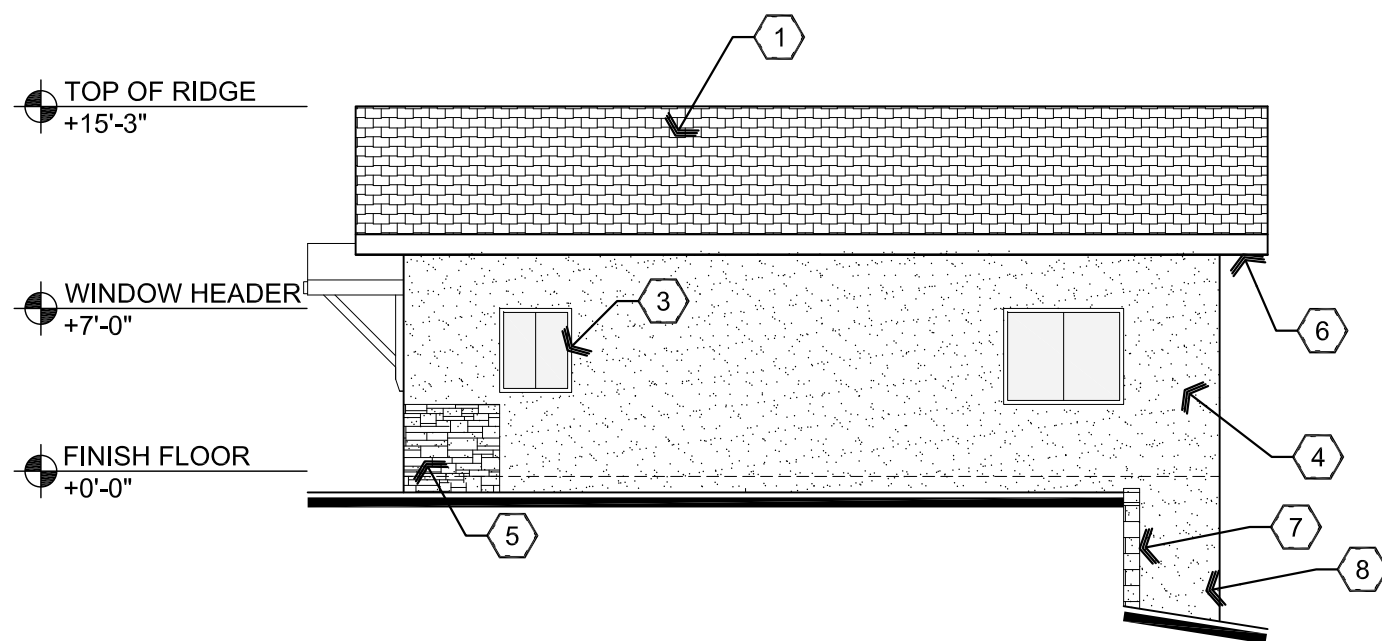
PROJECT: Kenson Garage on Norris
901 Norris Rd.
Prescott, AZ 86305

APN: 111-12-127C

DRAWN BY
L.O.
CHECKED BY
W.A.K.
DATE
July 7th, 2022
JOB NO.
784
SHEET

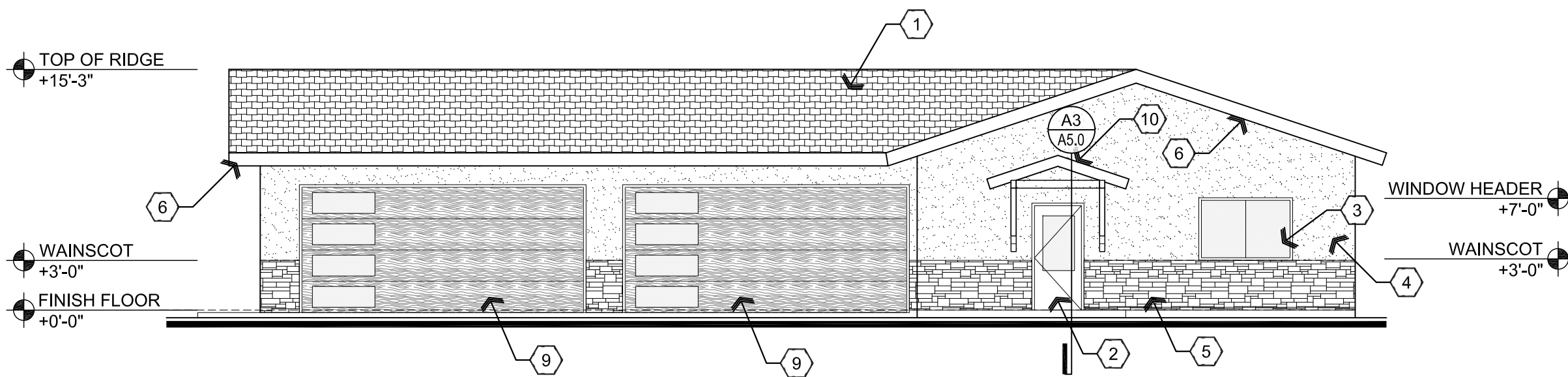
A5.0

Sep 12, 2022 - 2:17pm



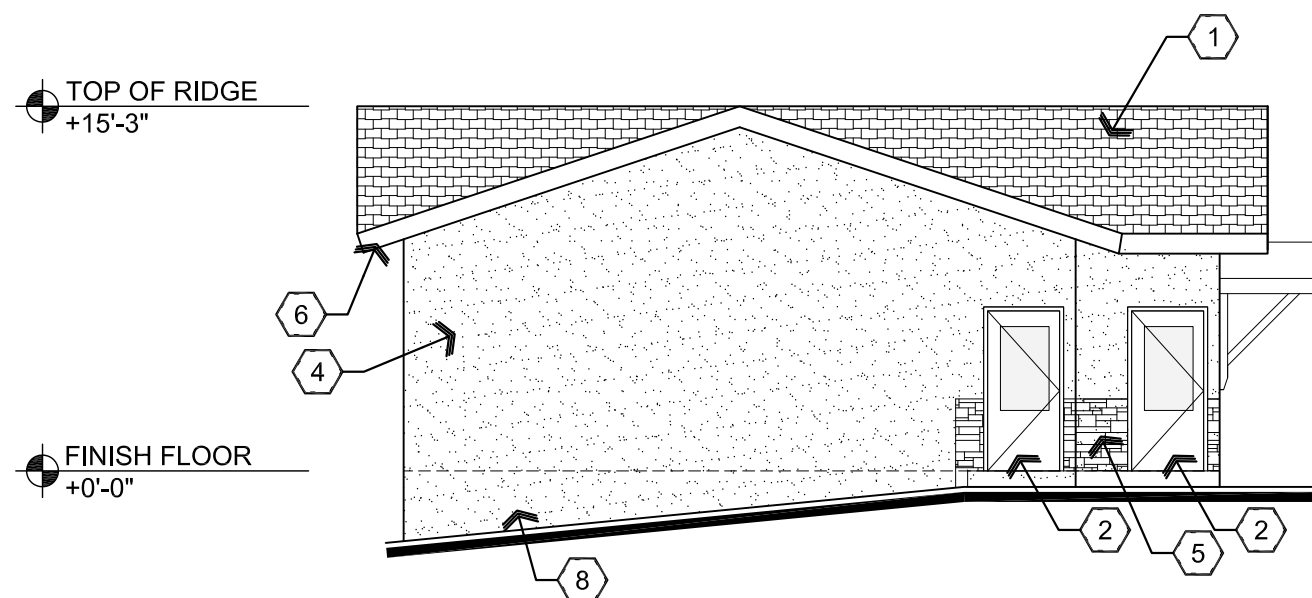
A2 South Elevation

Scale: 1/8"=1'-0"



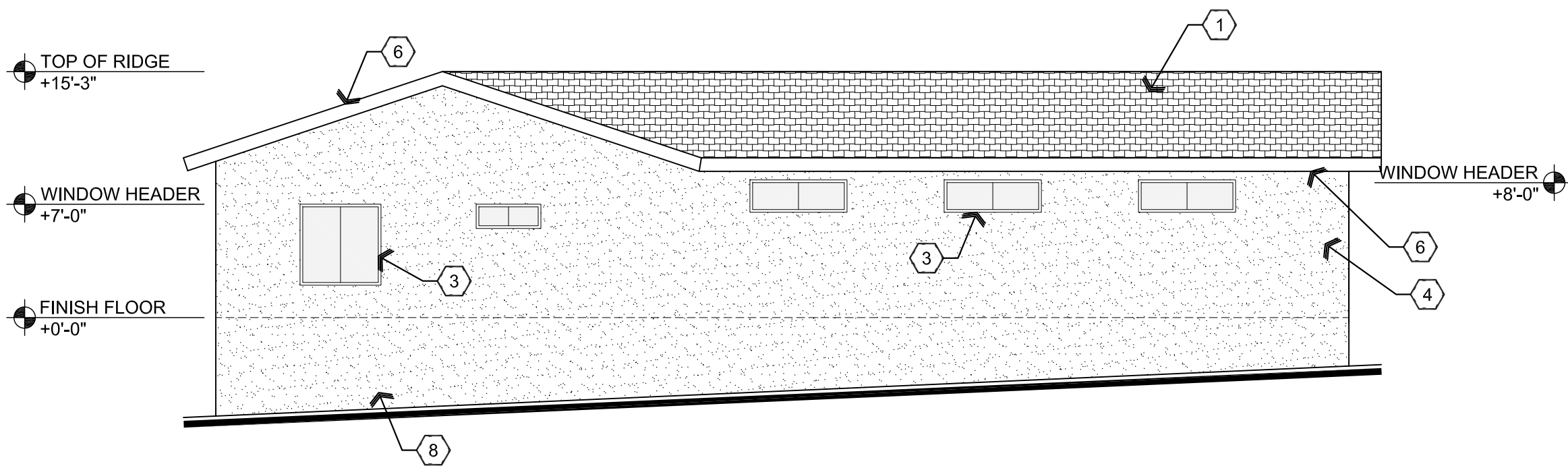
B2 West Elevation

Scale: 1/8"=1'-0"



A1 North Elevation

Scale: 1/8"=1'-0"



B1 East Elevation

Scale: 1/8"=1'-0"

Descriptive Keynotes

1. PROVIDE CONCRETE TILE ROOF - UES# 1900, OVER 90 POUND ROLLED ROOFING OVER O.S.B. SHEATHING.
2. PROVIDE EXTERIOR DOOR. REFER TO REFERENCE FLOOR PLAN AND DOOR SCHEDULE.
3. PROVIDE WINDOW. REFER TO REFERENCE FLOOR PLAN AND WINDOW ELEVATIONS.
4. PROVIDE WESTERN ONE COAT STUCCO SYSTEM - UES# 382, WITH SYNTHETIC INTEGRAL COLOR FINISH OVER 1-1/2" POLYSTYRENE OVER WEATHER PROOF BARRIER WITH WEEP SCREED OVER 1/2" OSB SHEATHING.
5. PROVIDE 4" FLAGSTONE VENEER WAINSCOT.
6. PROVIDE ROUGH SAWN 2x10 FASCIA.
7. EXISTING CMU RETAINING WALL.
8. PROVIDE WESTERN ONE COAT STUCCO SYSTEM OVER SYNTHETIC INTEGRAL COLOR SMOOTH FINISH OVER CONCRETE STEM WALL.
9. GARAGE DOOR, REFER TO REFERENCE FLOOR PLAN AND DOOR SCHEDULE.
10. PROVIDE ROUGH SAWN 2x8 FASCIA.

REVISIONS	BY

These drawings are the property of W. Alan Kenson & Associates P.C., and may not be reproduced in any way without the written consent of W. Alan Kenson & Associates, P.C.



W. Alan Kenson & Associates, P.C.

P 928-443-5812 P.O. Box 11593
F 928-443-5815 Prescott, AZ 86304

email: wakaarchitect@gmail.com

www.kenson-associates.com

ARCHITECTURE & PLANNING

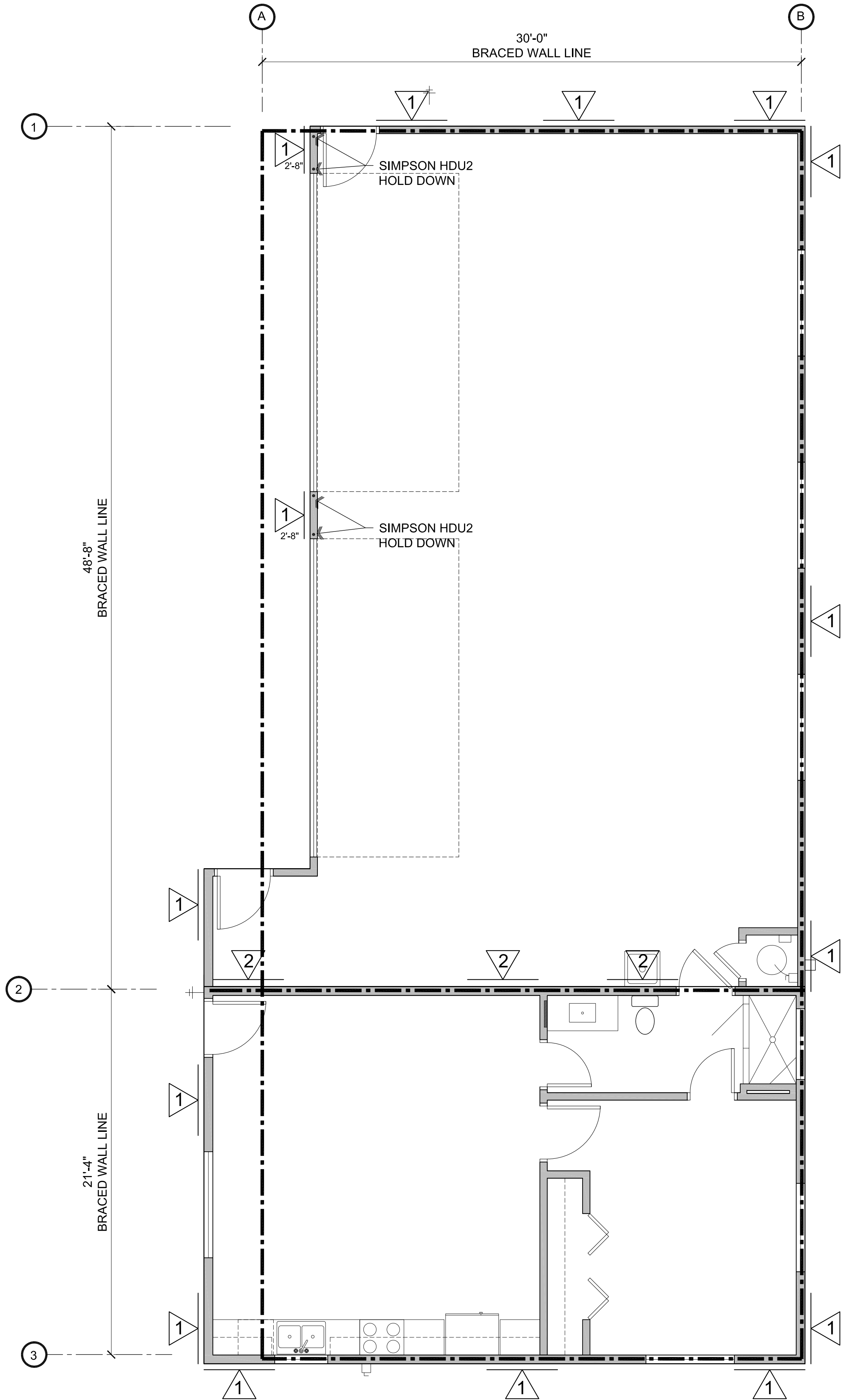
DRAWING: Exterior Elevations

PROJECT: Kenson Garage on Norris
901 Norris Rd.
Prescott, AZ 86305

APN: 111-12-127C

DRAWN BY L.O.
CHECKED BY W.A.K.
DATE July 7th, 2022
JOB. NO. 784
SHEET

A6.0



Braced Walls

Scale: 1/4"=1'-0"



Braced Walls

INTERMITTENT BRACING METHOD (SFB)

1 MATERIAL: STRUCTURAL FIBERBOARD SHEATHING; 1/2" THICK WITH MAXIMUM 16" STUD SPACING FIBERBOARD SHALL CONFORM TO ASTM C208.

1 FASTENERS: 1-1/2" LONG × 0.12" DIA. GALVANIZED ROOFING NAILS

SPACING: 3" EDGES, 6" FIELD

2 MATERIAL: 1/2" SHEETROCK BOTH SIDES

FASTENERS: NAILS OR SCREWS PER TABLE R702.3.5

SPACING: 7" EDGES (INCLUDING TOP AND BOTTOM PLATES) , 7" FIELD

INDICATES 4' PANEL, TYPICAL UNLESS INDICATED OTHERWISE

BRACING REQUIREMENTS TABLE R602.10.3(1)
1.6 ADJUSTMENT FACTOR FROM TABLE R602.10.3(2)

REVISIONS		BY
1	8-15-2022	LO

These drawings are the property of W. Alan Kenson & Associates P.C., and may not be reproduced in any way without the written consent of W. Alan Kenson & Associates, P.C.



W. Alan Kenson & Associates, P.C.

P 928-443-5812
F 928-443-5815
email: wakaarchitect@gmail.com
www.kenson-associates.com

P.O. Box 11593
Prescott, AZ 86304

ARCHITECTURE & PLANNING

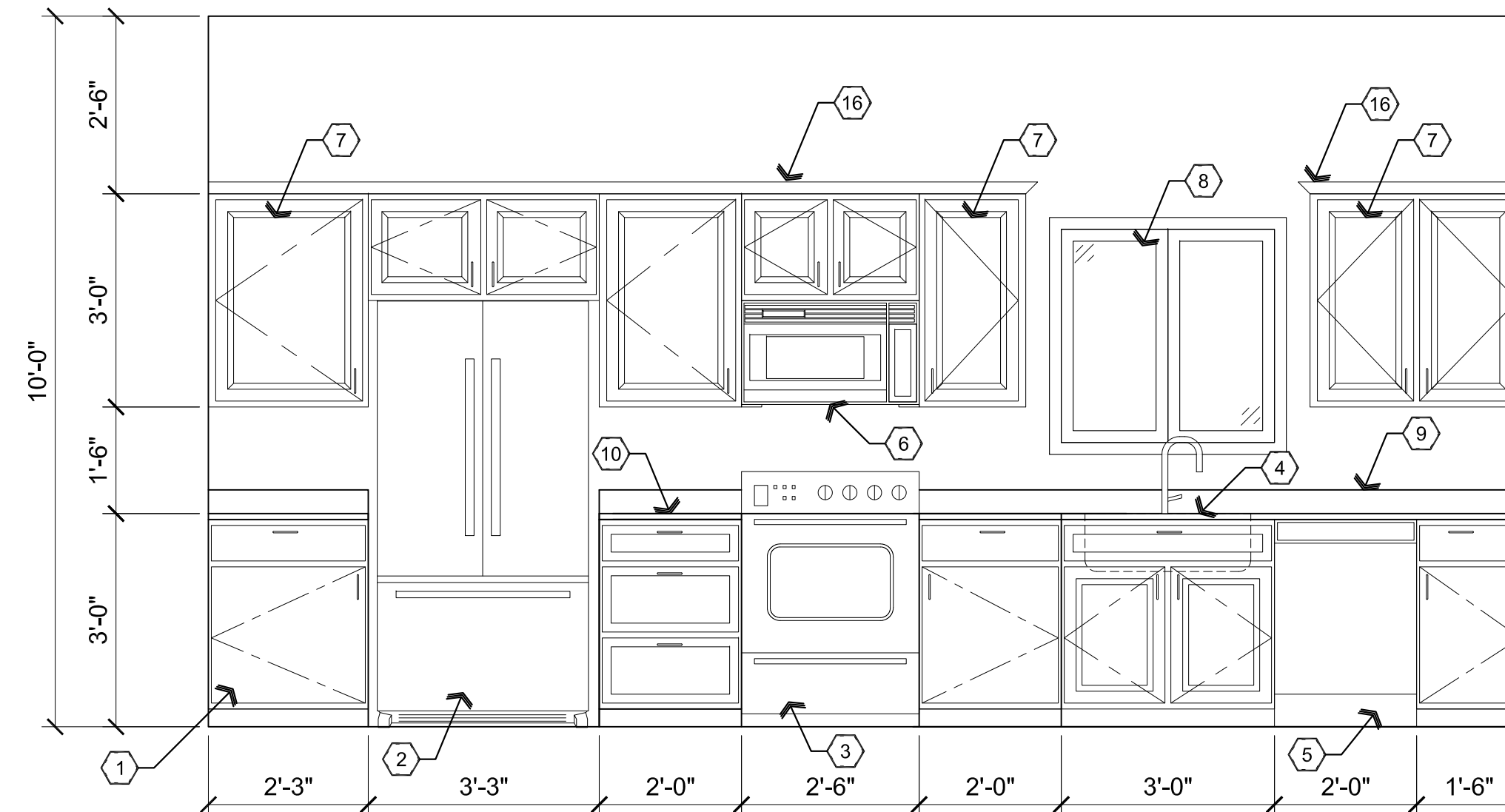
DRAWING: Architectural Site Plan

PROJECT: Kenson Garage on Norris
901 Norris Rd.
Prescott, AZ 86305

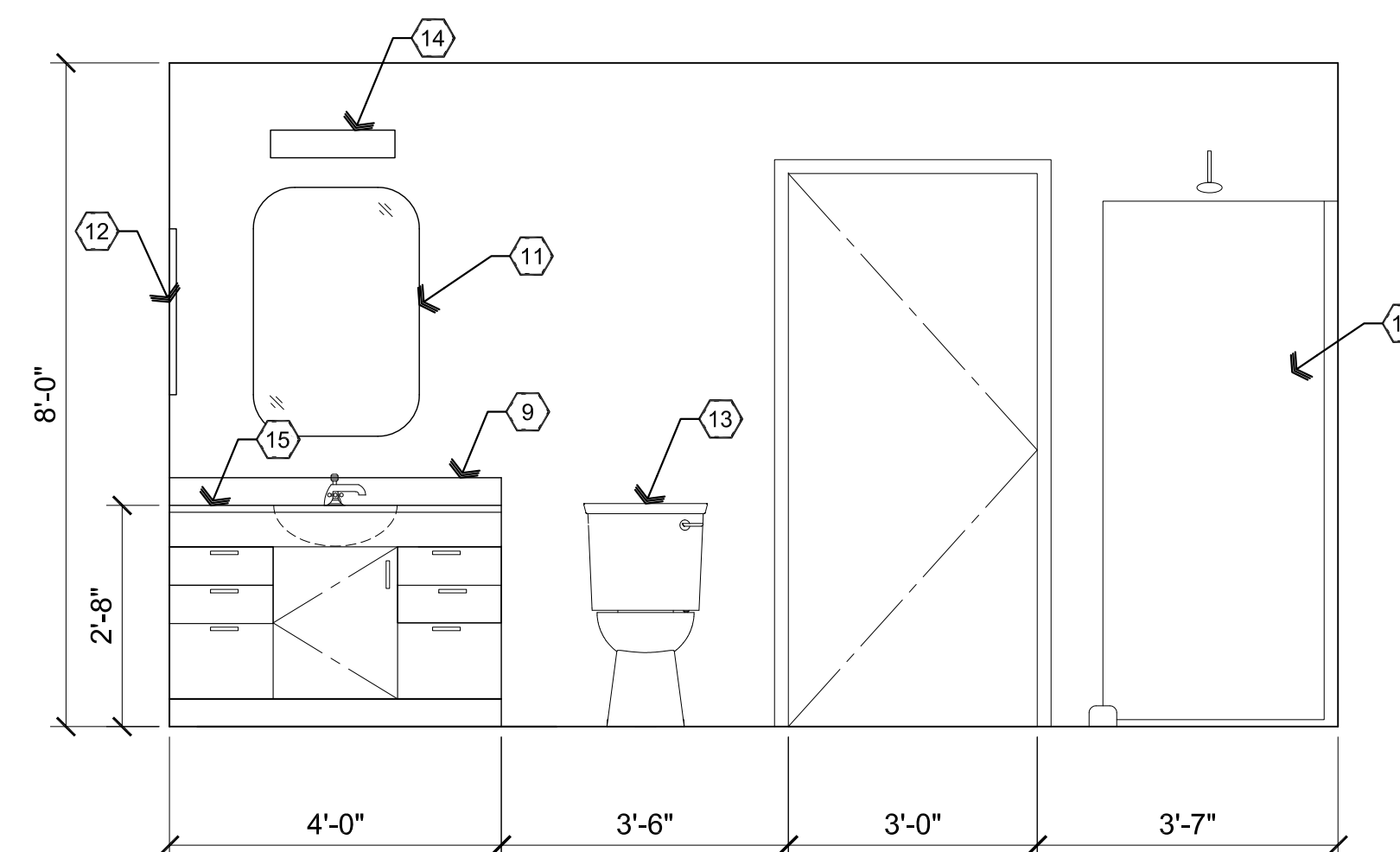
APN: 111-12-127C

DRAWN BY L.O.
CHECKED BY W.A.K.
DATE July 7th, 2022
JOB. NO. 784
SHEET

A7.0



A2 Reference Floor / Wall Types Plan Scale: 1/2"=1'-0"



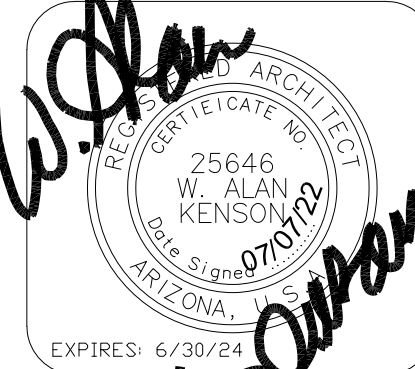
A1 **Reference Floor / Wall Types Plan** Scale: 1/2"=1'-0"

Descriptive Keynotes

1. PROVIDE LOWER CABINET AS SELECTED BY OWNER.
2. REFRIGERATOR, PROVIDED BY OWNER.
3. PROVIDE RANGE / OVEN.
4. PROVIDE TWO COMPARTMENT STAINLESS STEEL SINK.
5. PROVIDE DISHWASHER.
6. PROVIDE MICRO HOOD.
7. PROVIDE UPPER CABINTRY.
8. EXTERIOR WINDOW.
9. PROVIDE 4" SOLID SURFACE BACKSPLASH.
10. PROVIDE SOLID SURFACE COUNTERTOP.
11. PROVIDE MIRROR.
12. PROVIDE RECESSED MEDICINE CABINET WITH MIRROR.
13. PROVIDE ADA TOILET.
14. PROVIDE LIGHT FIXTURE, REFER TO ELECTRICAL PLANS.
15. PROVIDE SOLID SURFACE COUNTERTOP WITH INTEGRAL SINK.
16. PROVIDE CROWN MOLDING.
17. PROVIDE FIBERGLASS SHOWER.

REVISIONS	BY

These drawings are the property of W. Alan Kenson & Associates P.C., and may not be reproduced in any way without the written consent of W. Alan Kenson & Associates, P.C.



W. Alan Kenson & Associates, P.C.

P 928-443-5812 P.O. Box 11593
F 928-443-5815 Prescott, AZ 86304
email: wakaarchitect@gmail.com
www.kenson-associates.com

ARCHITECTURE & PLANNING
www.kelsoll-associates.com

DRAWING: Interior Elevations

PROJECT: Kenson Garage on Norris
901 Norris Rd.
Prescott, AZ 86305

APN: 111-12-127C

DRAWN BY

L.O.

CHECKED BY

W.A.K.

DATE
July 7th, 2022

JOB NO.

784

A8.0

Door Schedule

NO.	RM. NAME	SIZE	TYPE	DOOR MATERIAL	DOOR FINISH	FRAME MATERIAL	FRAME FINISH	HARDWARE TYPE	COMMENTS
100A	LIVING/KITCHEN	3'-0"x6'-8"	A	HM	PAINT	HM	PAINT	A	
101A	BEDROOM	3'-0"x6'-8"	B	WOOD	PAINT	WOOD	PAINT	B	
101B	BEDROOM	6'-0"x6'-8"	C	WOOD	PAINT	WOOD	PAINT	-	
102A	BATHROOM	2'-6"x6'-8"	B	WOOD	PAINT	WOOD	PAINT	B	
102B	BATHROOM	2'-6"x6'-8"	B	WOOD	PAINT	WOOD	PAINT	B	
103A	GARAGE	3'-0"x6'-8"	D	WOOD	PAINT	WOOD	PAINT	C	20 MINUTE FIRE RATED WITH SELF CLOSING HINGES AND SELF LATCHING
103B	GARAGE	2'-0"x6'-8"	B	WOOD	PAINT	WOOD	PAINT	D	
103C	GARAGE	3'-0"x6'-8"	A	HM	PAINT	HM	PAINT	A	
103D	GARAGE	18'-0"x8'-0"	F	-	-	-	-	-	
103E	GARAGE	18'-0"x8'-0"	F	-	-	-	-	-	
103F	GARAGE	3'-0"x6'-8"	A	HM	PAINT	HM	PAINT	A	

Door Hardware Schedule

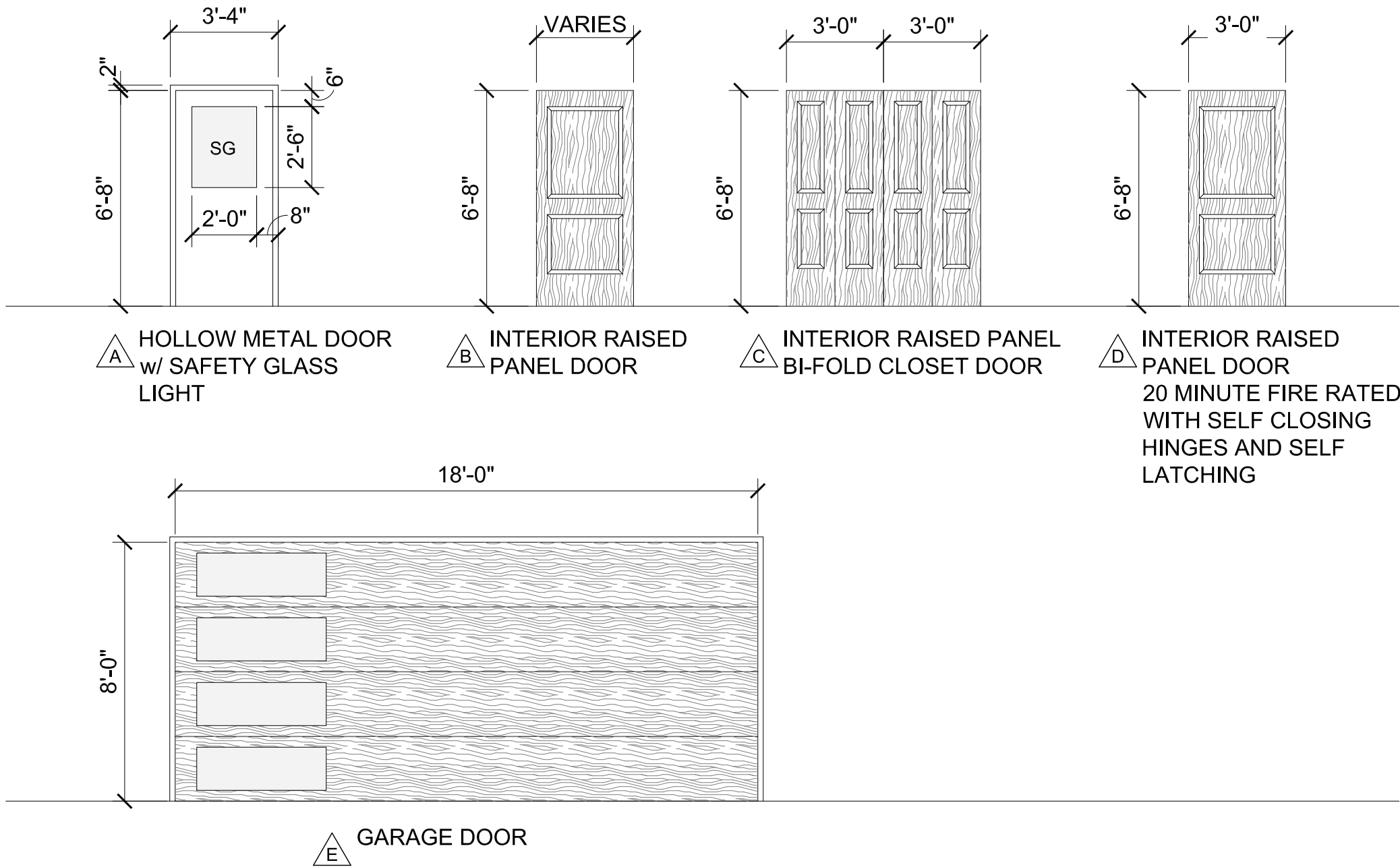
HARDWARE SET A:
LEVER ENTRY LOCK, WEATHER STRIP,
THRESHOLD, DEADBOLT.

HARDWARE SET B:
LEVER PRIVACY LOCK.

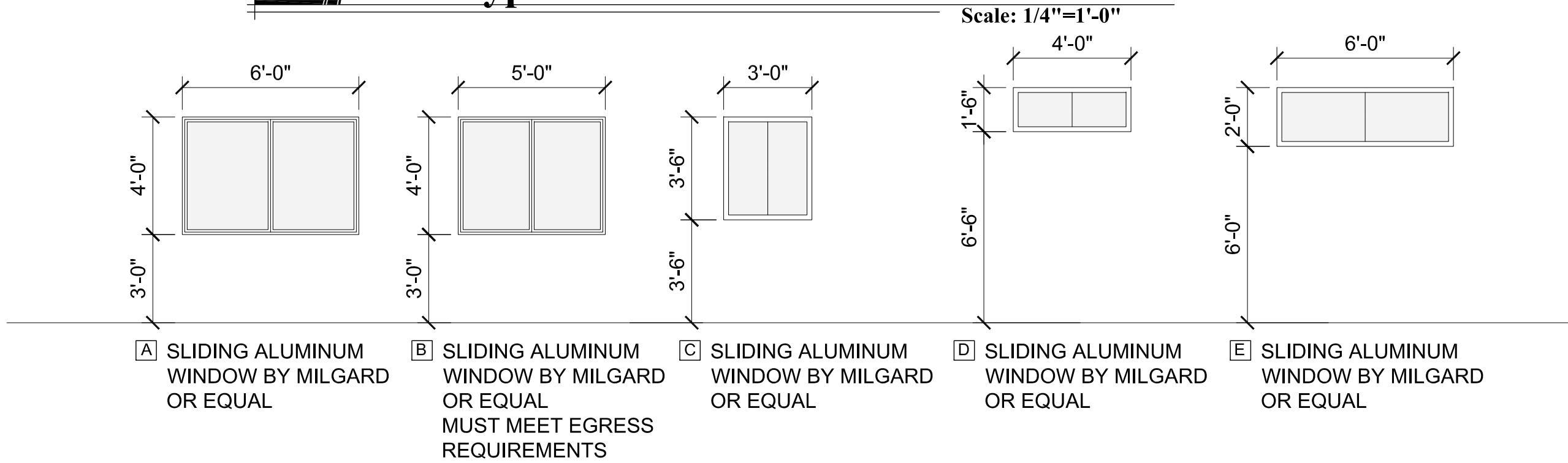
HARDWARE SET C:
LEVER ENTRY LOCK, WEATHER STRIP,
THRESHOLD, DEADBOLT.
SELF CLOSING HINGES

HARDWARE SET D:
LEVER PASSAGE.SELF LATCHING

- NOTES:
- ALL GLAZING IN DOORS SHALL BE SAFETY GLAZING.
 - ALL GLAZING WITHIN 24" OF OPENINGS SHALL BE SAFETY GLASS.
 - IF A DOOR HAS A CLOSER, THEN THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 70 DEGREES, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3" FROM THE LATCH, MEASURED TO THE LEADING EDGE OF THE DOOR.
 - ALL WINDOWS ARE TO HAVE A MAXIMUM U FACTOR OF .33.
 - EXTERIOR DOORS SHALL BE MIN. 1-3/4" THICK.



Door Types



Window Types

REVISIONS	BY

These drawings are the property of W. Alan Kenson & Associates P.C., and may not be reproduced in any way without the written consent of W. Alan Kenson & Associates, P.C.



W. Alan Kenson & Associates, P.C.

P 928-443-5812
F 928-443-5815
email: wakaarchitect@gmail.com
www.kenson-associates.com

P.O. Box 11593
Prescott, AZ 86304

ARCHITECTURE & PLANNING

DRAWING: Door Schedule and Window Types

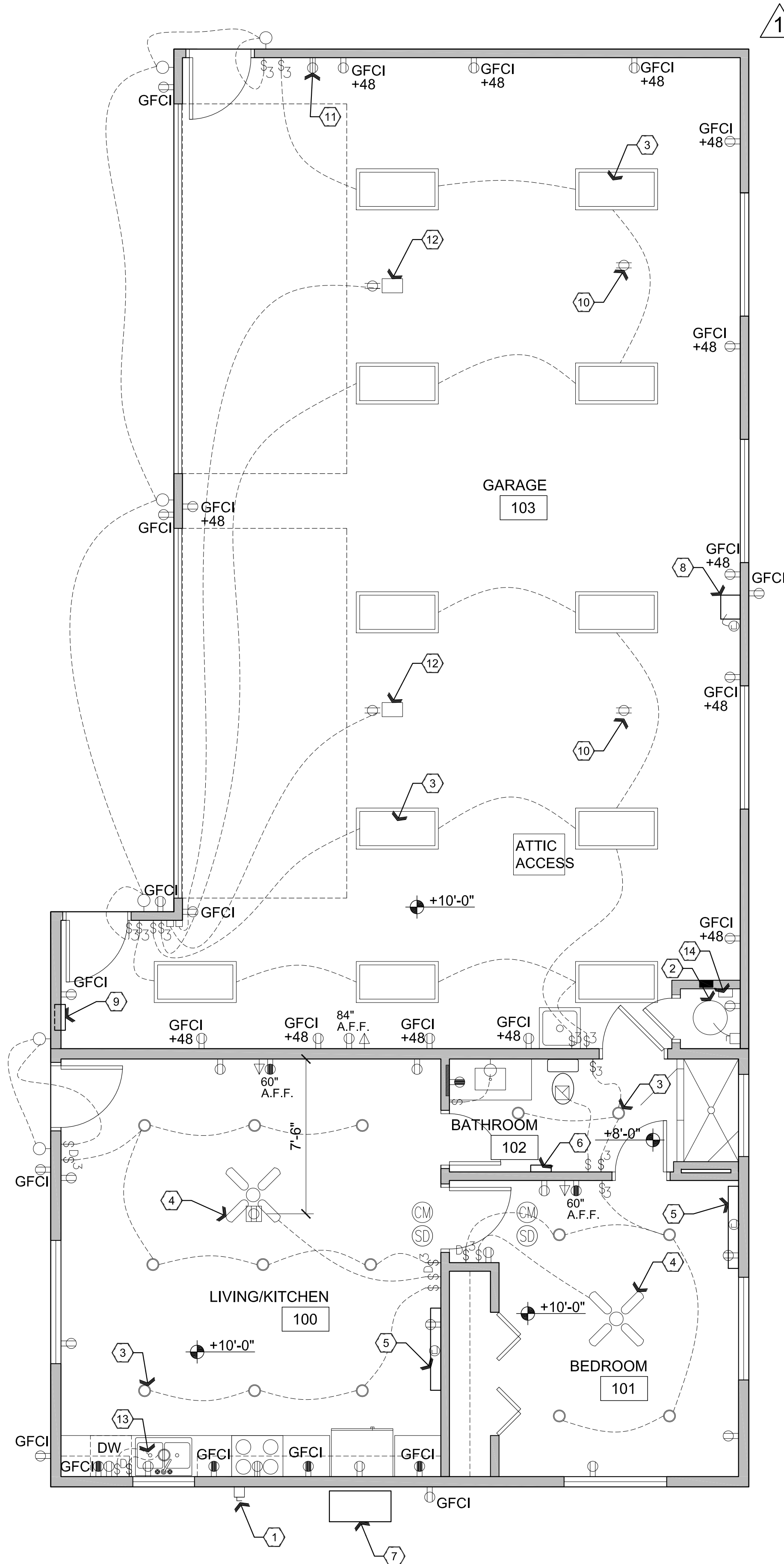
PROJECT: Kenson Garage on Norris
901 Norris Rd.
Prescott, AZ 86305

APN: 111-12-127C

DRAWN BY L.O.
CHECKED BY W.A.K.
DATE July 7th, 2022
JOB NO. 784
SHEET

General Electrical Notes

1. A MINIMUM OF TWO 20-AMPERE RATED BRANCH CIRCUITS SHALL BE PROVIDED FOR RECEPTACLES LOCATED IN THE KITCHEN, PANTRY, BREAKFAST, AND DINING AREAS. AN ADDITIONAL 20 AMPERE RATED BRANCH CIRCUIT SHALL BE PROVIDED TO THE LAUNDRY AND A SEPARATE 20 AMPERE RATED BRANCH CIRCUIT SHALL BE PROVIDED FOR BATHROOM RECEPTACLES.
2. ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE OUTLETS INSTALLED IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATIONS ROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
3. IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DEN, SUN ROOM, BEDROOM, RECREATION ROOM, OR SIMILAR ROOM OR AREA OF DWELLING UNITS, RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET, MEASURED HORIZONTALLY, FROM AN OUTLET IN THAT SPACE, INCLUDING ANY WALL SPACE 2 FEET OR MORE IN WIDTH.
4. IN KITCHEN AND DINING ROOMS, AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH ISLAND OR PENINSULAR COUNTER SPACE WITH A LONG DIMENSION OF 24 INCHES OR GREATER AND A SHORT DIMENSION OF 12 INCHES.
5. IN KITCHEN AND DINING ROOMS, AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH WALL COUNTER SPACE 12 INCHES OR WIDER SO THAT NO POINT ALONG THE WALL IS MORE THAN 24 INCHES FROM A RECEPTACLE OUTLET AND SHALL BE GFCI PROTECTED.
6. PROVIDE AT LEAST ONE WEATHERPROOF RECEPTACLE OUTLET, NOT MORE THAT 6 FEET 6 INCHES ABOVE GRADE AND GFCI PROTECTED, AT THE FRONT AND BACK OF EACH DWELLING. ALL RECEPTACLES INSTALLED OUTDOORS MUST BE GFCI PROTECTED.
7. PROVIDE AT LEAST (1) ONE RECEPTACLE OUTLET IN HALLWAYS 10 FEET OR MORE IN LENGTH.
8. A 125 VOLT, SINGLE PHASE, 15 OR 20 AMPERE RATED RECEPTACLE OUTLET SHALL BE INSTALLED AT AN ACCESSIBLE LOCATION FOR THE SERVICING OF HEATING, AIR CONDITIONING AND REFRIGERATION EQUIPMENT. THE RECEPTACLE SHALL BE LOCATED ON THE SAME LEVEL AND WITHIN 25 FEET OF THE EQUIPMENT.
9. ALL 125 VOLT, SINGLE PHASE, 15 AND 20 AMPERE RECEPTACLES IN THE FOLLOWING LOCATIONS SHALL BE GFCI PROTECTED: BATHROOMS, GARAGES, UNFINISHED ACCESSORY BUILDINGS, CRAWL SPACES, UNFINISHED BASEMENTS, BAR SINKS (WITHIN 6 FEET) AND LAUNDRY ROOM SINKS (WITHIN 6 FEET).
10. PROVIDE AT LEAST (1) ONE WALL MOUNTED SWITCH CONTROLLED LIGHTING OUTLET IN EVERY HABITABLE ROOM AND BATHROOM.
11. PROVIDE A LIGHTING OUTLET ON THE EXTERIOR SIDE OF ALL EXITS/ENTRANCES.
12. A RECEPTACLE SHALL NOT BE INSTALLED WITHIN A BATHTUB OR SHOWER SPACE.
13. FIXTURES, FITTINGS, BOXES AND RECEPTACLES LOCATED IN DAMP OR WET LOCATIONS SHALL BE "LISTED" TO BE SUITABLE FOR SUCH LOCATION.
14. PROVIDE INTERCONNECTED SMOKE ALARMS IN EACH SLEEPING ROOM, IMMEDIATELY OUTSIDE EACH SLEEPING ROOM, ON EACH ADDITIONAL STORY INCLUDING BASEMENTS, AND IN THE HALLWAY. SMOKE ALARMS SHALL BE HARD WIRED WITH BATTERY BACKUP.
15. PROVIDE A GROUNDING ELECTRODE SYSTEM. PROVIDE BONDING TO THE INTERIOR WATER PIPING AND ABOVE GROUND PORTION OF GAS PIPING SYSTEM.
16. EXTERIOR LIGHTING SHALL BE DARK SKY COMPLIANT.



Descriptive Keynotes

1. ELECTRICAL DISCONNECT TO SHUT OFF POWER TO BUILDING. BUILDING POWER IS TO BE FED FROM ELECTRICAL SERVICE FROM EXISTING HOUSE.
2. PROVIDE 40 GALLON ELECTRIC WATER HEATER WITH RE-CIRCULATING PUMP.
3. LIGHTING FIXTURE, TYPICAL, REFER TO LEGEND.
4. CEILING FAN.
5. DUCTLESS MINI-SPLIT AIR CONDITIONER / HEATER.
6. RECESSED WALL HEATER.
7. HVAC CONDENSING UNIT ON PRE-MANUFACTURED PAD.
8. ELECTRIC UNIT HEATER.
9. 100 AMP 100/240 ELECTRICAL PANEL.
10. CEILING OUTLET FOR RETRACTABLE DROP LIGHT / OUTLET.
11. SPECIAL 220 VOLT OUTLET. CONFIRM OUTLET CONFIGURATION.
12. GARAGE DOOR OPENER.
13. DISPOSER.
14. RE-CIRCULATING PUMP.

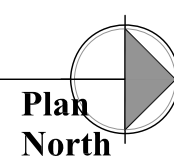
Legend

- | | |
|--|--|
| | ELECTRICAL SES |
| | DISCONNECT |
| | JUNCTION BOX |
| | DUPLEX RECEPTACLE, AT 18" A.F.F. |
| | DUPLEX RECEPTACLE ABOVE COUNTER OR HEIGHT AS INDICATED |
| | SPECIAL RECEPTACLE |
| | FOURPLEX RECEPTACLE |
| | FLOOR MOUNTED DUPLEX RECEPTACLE |
| | DUPLEX RECEPTACLE IN CEILING |
| | SWITCH, SINGLE POLE AT 48" A.F.F. |
| | SWITCH, THREE WAY AT 48" A.F.F. |
| | SWITCH, PRESET DIMMER, 48" A.F.F. |
| | LIGHT FIXTURE, LED |
| | UNDER CABINET LIGHTING |
| | LIGHT FIXTURE, CEILING MOUNTED |
| | LIGHT FIXTURE, PENDANT MOUNTED |
| | LIGHT FIXTURE, RECESSED, TRIM TO BE DETERMINED |
| | LIGHT FIXTURE, ADJUSTABLE SPOT |
| | LIGHT FIXTURE, WALL MOUNTED |
| | CABLE TELEVISION OUTLET AT 18" A.F.F. |
| | DOORBELL SWITCH |
| | DOORBELL CHIME |
| | SMOKE DETECTOR / FIRE ALARM |
| | EXHAUST FAN |
| | THERMOSTAT |
| | CARBON MONOXIDE ALARM |
| | CHANDELIER / PENDANT LIGHT |
| | ELECTRIC WALL HEATER |
| | DUCTLESS MINI-SPLIT AIR CONDITIONER |
| | CEILING FAN |
| | GARAGE DOOR OPENER |



Electrical / Mechanical Plan

Scale: 1/4"=1'-0"



REVISIONS	BY
1	8-15-2022 LO

These drawings are the property of W. Alan Kenson & Associates P.C., and may not be reproduced in any way without the written consent of W. Alan Kenson & Associates, P.C.



W. Alan Kenson & Associates, P.C.
P 928-443-5812 P.O. Box 11593
F 928-443-5815 Prescott, AZ 86304
email: wakaarchitect@gmail.com
www.kenson-associates.com
ARCHITECTURE & PLANNING

DRAWING: Electrical Plan
PROJECT: Kenson Garage on Norris
901 Norris Rd.
Prescott, AZ 86305
APN: 111-12-127C

DRAWN BY
L.O.
CHECKED BY
W.A.K.
DATE
July 7th, 2022
JOB NO.
784
SHEET

ME1

PANELBOARD				A				SCHEDULE			
MAINS: 200A MCB				LOAD-VA				LOCATION: MAIN HOUSE			
VOLTAGE: 120/240V, 1Ø, 3W								MOUNTING: SURFACE			
TYPE: EXISTING								MIN. A.I.C.: EXISTING			
CIRCUIT DESCRIPTION	BKR.	CIR. NO.		Ø A	Ø C	CIR. NO.	BKR.	CIRCUIT DESCRIPTION			
EXISTING EQUIPMENT	20	1				20	1	EXISTING EQUIPMENT			
	20	3				4	2				
	20	5				6	70	NEW SUB-PANEL 'A1'			
	20	7				8	2	GUEST HOUSE			
	20	9				10		SPACE			
	20	11				12					
	20	13				14					
	20	15				15	1	EXISTING EQUIPMENT			
	20	17				18	1				
	20	19				20	1				
	20	21				20	50				
SPACE	20	23				22					
EXISTING EQUIPMENT	20	25				24	2				
	20	27				26	20				
	30	29				28	2				
		31				30	30				
		33				32	2				
		35				34					
		37				36					
		39				38					
		41				40					
						42					
TOTAL LOAD PER PHASE:				SEE CALC'S.				H#			

TOTAL SERVICE ELEC. LOAD CALCULATION:

GENERAL LIGHTING (1,440 SQ. FT. @ 3VA/SQ. FT.)	=	4,320 VA
SMALL APPLIANCE LOAD: 3 CKTS. @ 1500 VA	=	4,500 VA
DISHWASHERS: 1 @ 1200VA	=	1,200 VA
COMPACTOR	=	830 VA
DISPOSAL	=	1,590 VA
RANGE (GAS)	=	-0- VA
WATER HEATER	=	4,500 VA
MICROWAVE	=	1,200 VA
REFRIGERATOR/FREEZER	=	1,000 VA
LAUNDRY (WASHER) LOAD:	=	1,500 VA
LAUNDRY (DRYER) LOAD:	=	5,500 VA
RESTROOM RECEPTACLE	=	1,500 VA
GARAGE/GUEST HOUSE	=	23,315 VA

SUB-TOTAL = 50,955 VA

FIRST 10 KVA AT 100%	10,000 VA
REMAINDER AT 40% (40,955 VA X 0.4)	16,382 VA

TOTAL = 26,382 VA

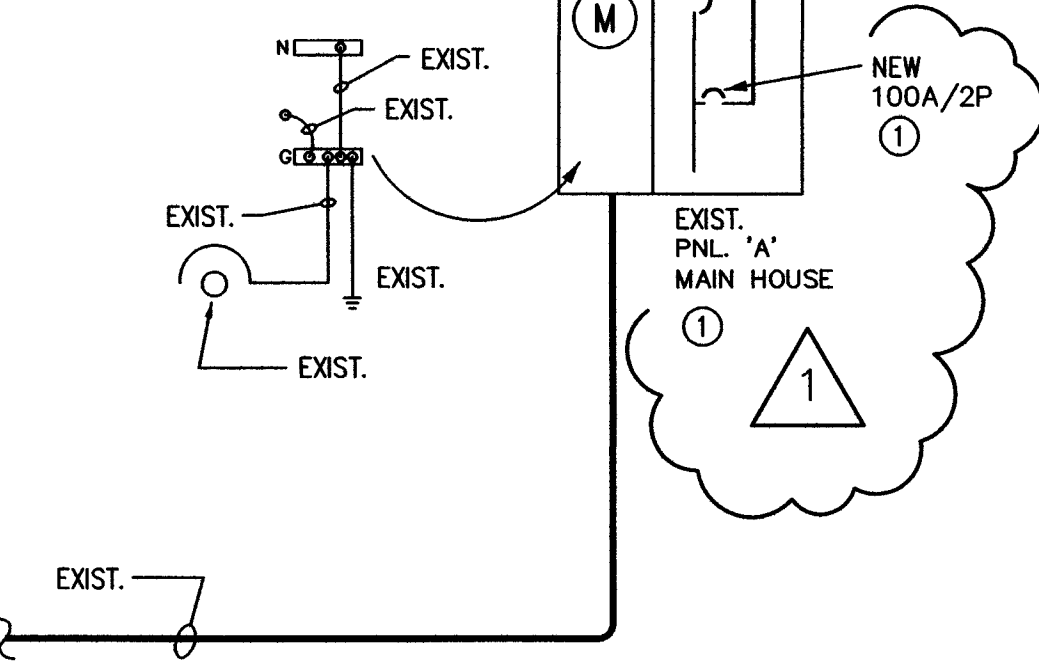
HEATING AND COOLING LOAD:

3-TON FURNACE (1 @ 13.0A x 120V) @ 100%	=	1,560 VA
3-TON CONDENSER (1 @ 26.6A x 230V) @ 100%	=	6,118 VA

GRAND TOTAL = 34,060 VA
÷ 240 V

TOTAL HOUSE LOAD = 141.9 AMPS

EXISTING SERVICE CABINET W/METER & PANEL
200 A-120/240V -3 PHASE -4 WIRE
NEMA 3R BRACED FOR 22,000 AIC MIN.



NOTE:
ELECTRICAL CONTRACTOR SHALL COMPLY
WITH SERIES RATED SYSTEM REQUIREMENTS.

AVAILABLE I_{SC} = 14,318 AMPS
PER (APS) UTILITY COMPANY
TABLES

ONE LINE GENERAL NOTES:

- SYSTEM SHOWN IS A TWO TIER SERIES RATED SYSTEM 22/10K. MANUFACTURER SHALL PROVIDE A UL LISTED SYSTEM TO MATCH THIS RATING.
- MOTOR SHORT CIRCUIT CONTRIBUTION IS LESS THAN 1% OF SYSTEM SHORT CIRCUIT AMPS.
- NO DESIGN CHANGES MAY BE MADE TO THE SYSTEM WITHOUT THE PRIOR APPROVAL OF THE DESIGN ELECTRICAL ENGINEER AND THE ELECTRICAL INSPECTOR

ONE LINE KEYNOTES:

- PROVIDE A PERMANENT LABEL READING "THIS CIRCUIT BREAKER IS PART OF A SERIES RATED SYSTEM WITH DOWNSTREAM PANELS 22/10K. 22,000 AMPS AVAILABLE. IDENTIFIED REPLACEMENT COMPONENT REQUIRED"
- PROVIDE A PERMANENT LABEL READING "CAUTION-SERIES RATED SYSTEM 22/10, IDENTIFIED REPLACEMENT COMPONENTS REQUIRED"

EXIST. ONE LINE DIAGRAM

N.T.S.

PANELBOARD				A1				SCHEDULE			
MAINS: 100A MCB				LOAD-VA				LOCATION: GARAGE/GUEST HOUSE (SEE PLAN)			
VOLTAGE: 120/240V, 1Ø, 3W								MOUNTING: VERIFY WITH CONTRACTOR			
TYPE: GE, SQ. D OR EQUAL								MIN. A.I.C.: 22/10K SERIES RATED			
CIRCUIT DESCRIPTION	BKR.	CIR. NO.		Ø A	Ø B	CIR. NO.	BKR.	CIRCUIT DESCRIPTION			
GENERAL LIGHTS/RECEPT'S. (AFCI)	15	1				20	1	SMALL APPLIANCE RECEPT'S. (GFCI)			
GENERAL LIGHTS/RECEPT'S. (AFCI)	15	3				4		SMALL APPLIANCE RECEPT'S. (GFCI)			
BATHROOM RECEPT. (GFCI)	20	5				6		DISPOSAL			
REFRIG./FREEZER	20	7				8		MICROWAVE			
DISHWASHER	20	9				10	50	RANGE			
ELECTRIC WATER HEATER	30	11				12	2				
	2	13				14	20	MINI-SPLIT HEAT PUMP			
RESTROOM WALL HEATER	20	15				16	2				
GARAGE LIGHTS	20	17				18	15	SPACE			
GARAGE RECEPTACLES	20	19				20	15	SPACE			
GARAGE RECEPTACLES	20	21				22	15	SPACE			
SPACE	20	23				24		SPACE			
SPACE	20	25				26					
SPACE	20	27				28					
		29				30					
TOTAL LOAD PER PHASE:				SEE CALC'S.				H#			

GARAGE ELEC. LOAD CALC'S.: PNL. 'A1'

GENERAL LIGHTING & POWER (725 SQ. FT. @ 3VA/SQ. FT.)	=	2,175 VA
SMALL APPLIANCE LOAD: 2 CKTS. @ 1500 VA	=	3,000 VA
DISHWASHER:	=	1,200 VA
DISPOSAL	=	1,590 VA
RANGE/OVEN	=	5,000 VA
MICROWAVE	=	1,200 VA
REFRIGERATOR/FREEZER	=	850 VA
BATHROOM RECEPTACLE 1 CKT. @ 1500 VA	=	1,500 VA
GARAGE LIGHTS	=	800 VA
GARAGE RECEPTACLES	=	1,500 VA
WATER HEATER (ELECTRIC)	=	4,500 VA
SUB-TOTAL =		23,315 VA

FIRST 10 KVA AT 100%	=	10,000 VA
REMAINDER AT 40% (13,315 VA X 0.4)	=	5,326 VA

TOTAL = 15,326 VA

DUCTLESS MINI-SPLIT HEADS	=	-0- VA
A/C CONDENSING UNIT (1 @ 15.0 x 230V) @ 100% (IF REQUIRED)	=	3,450 VA

GRAND TOTAL = 18,776 VA
÷ 240 V

TOTAL PANEL LOAD = 78.2 AMPS

ELECTRICAL DESIGN & CADD SERVICES INC.
1600 LAMB LANE
PRESCOTT, AZ. 86305
PH. (928) 778-4900
CELL (928) 420-1200
E-MAIL: archie@elecdesign.net

REVISIONS	BY
1 CITY COMMENT 10-5-2022	A.O.

These drawings are the property of
W. Alan Kenson & Associates P.C.,
and may not be reproduced in any
way without the written consent of
W. Alan Kenson & Associates, P.C.



W. Alan Kenson & Associates, P.C.
P.O. Box 11593
Prescott, AZ 86304
P 928-443-5812
F 928-443-5815
email: wakaarchitect@gmail.com
www.kenson-associates.com
ARCHITECTURE & PLANNING

DRAWING: Electrical One-Line Diagram, Panel Schedules
and Calc's.

PROJECT: Kenson Garage on Norris
901 Norris Rd.
Prescott, AZ 86305

APN: 111-12-127C

DRAWN BY
CHECKED BY
DATE
July 7th, 2022
JOB NO.
784
SHEET

E1.1